

6030 Hillandale Drive

6257 Hillandale Drive

- Agenda
- November 15, 2022 Meeting Minutes
- Staff Report
- Application
- Supporting Documents



BOARD OF ZONING & APPEALS MEETING  
Stonecrest City Hall – *In-Person* \*  
February 21, 2023, 6:30 PM

A G E N D A

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As set forth in the Americans with Disabilities Act of 1990, the City of Stonecrest will assist citizens with special needs given notice (7 working days) to participate in any open meetings of the City of Stonecrest. Please contact the City Clerk’s Office via telephone (770.224-0200).

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- I. Call to Order
- II. Oath of Office
- III. Roll Call
- IV. Minutes: The Approval of the Zoning Board Meeting Minutes Summary dated November 15, 2022
- V. Old Business:
- VI. New Business: Variance of Setback Requirements and Appeal of Administrative Decision Regarding the Denial of the Issuance of a Certificate of Occupancy

*\*Meeting will be held in-person and virtually via the [www.zoom.com](http://www.zoom.com). Meeting can be viewed on the City of Stonecrest Youtube page. Citizens wishing to make public comment can come to City Hall and make comments on a laptop running the Zoom application at the podium in Council Chambers or submit their questions to Keirston McMillan, Secretary to the Zoning Board of Appeals, via email address [keirston.mcmillan@stonecrestga.gov](mailto:keirston.mcmillan@stonecrestga.gov).*

Public Hearing(s):

LAND USE PETITION: V22-008  
PETITIONER: Joshua Mahoney, Battle Law PC  
LOCATION: 6257 Hillandale DR Stonecrest GA 30058  
CURRENT ZONING: OD (Office-Distribution) and Viewshed Overlay  
CONDITION CZ-97061  
PROPOSED DEVELOPMENT: To decrease in setback requirements from 75 ft to 50 ft

LAND USE PETITION: AAA22-000002  
PETITIONER: Linda Dunlavy, Dunlavy Law Group, LLC on behalf of Applicant  
Shah Ali Enterprises, LLC  
LOCATION: 6030 Hillandale Drive Stonecrest GA 30058  
CURRENT ZONING: M (Light Industrial) and Viewshed Overlay  
PROPOSED DEVELOPMENT: To appeal administrative decision to deny issuance of certificate of occupancy for convenience store/gas station

- VII. Adjournment

# MEETING MINUTES

# ZONING BOARD OF APPEALS MEETING MINUTES SUMMARY

Stonecrest City Hall - 6:30 PM \*Spoke-in-Person Meeting

November 15, 2022



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## I. Call to Order

Commissioner Michael Armstrong called the meeting to order at 6:37 PM.

## II. Roll Call

Chairman Michael Armstrong (District 4) called the roll. Ms. Kelly Ross (District 1), Ms. Gwendolyn Green (District 2), Mr. Shedrick Harris (District 5) was present. Ms. Sonja Hicks (District 3) was absent. There was a quorum.

The Planning & Zoning Director, Ray White and Planner, Keirston McMillan were present. Attorney Alicia Thompson, Fincher Denmark, LLC, virtually attended.

## III. Approval of the Agenda Need: Agenda not approved

## IV. Minutes:

Commissioner Michael Armstrong called for a motion. The Zoning Board of Appeals Meeting Minutes Summary dated August 1, 2022 was called for a motion to approve the Zoning Boards of Appeals Meeting Minutes Summary dated August 1, 2022. Gwendolyn Green (District 2) motioned to APPROVE. Ms. Kelly Ross (District 1) seconded the motion. The motion was unanimously APPROVED.

## V. Presentations: Upcoming Cases Presented by Ms. Keirston McMillan, Planner

- V-22-003 - The property is located at 2418 Panola Road to increase the sign height and sign area.
- V-22-004 - The property is located at 2799 Evans Mills Road for a stream buffer for the construction of a new gas station and convenience store.
- V-22-006 - The property is located at 4460 Panola Road to restore the eroded portions of the stream bank and stabilize the embankment.

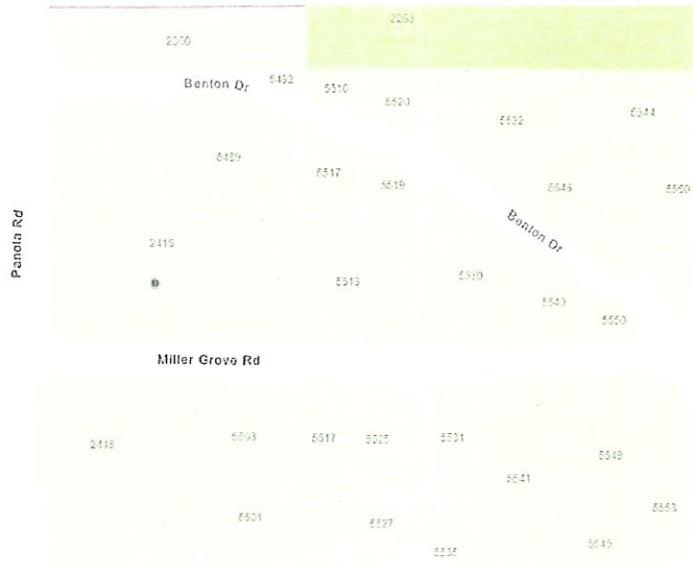
## VI. Old Business: None

## VII. New Business: Variance of Sign and Stream Buffer

LAND USE PETITION: V-22-003  
PETITIONER: REGINALD MATTISON ON BEHALF OF NIGERIAN  
SEVENTH DAY ADVENTIST  
CHURCH  
LOCATION: 2418 PANOLA ROAD  
CURRENT ZONING: R-100 (RESIDENTIAL MEDIUM LOT)  
PROPOSED DEVELOPMENT: TO INCREASE THE SIGN HEIGHT AND SIGN AREA

*Keirston McMillan* presented V-22-003- “The property is located at 2418 Panola Road height and sign area. The current zoning is R-100, residential medium lot with a parcel size of a little bit more or less of 2.6 acreage. The property owner is Mr. Ray Hartwell and the applicant is Mr. Reginald Madison. The staff recommendation is to approve it with a few conditions. The request here is to increase the sign height from six feet to eight feet nine inches and to increase the sign phase area from 32 square feet to 33.6 square footage. The current usage of this property is a place of worship known as the Nigerian Seventh Day Adventist Church. This two-story brick and frame church building sits on parcel 16.057.03.002. It was built in 1976 in unincorporated DeKalb County. The church is located at the corner of Panola Road and Miller Grove Road. There's a wooden post on the corner that appears to be worn, damaged and it needs a bit of repair. Existing Conditions. The current sign is a wooden post that appears worn and damaged and needs to be repaired. The current sign will be demolished and replaced. The height of the sign is 10 ft. The applicant is proposing to increase the height to 8' 9”. The applicant is proposing to increase the sign area from 32 sq ft to 33.6 sq ft.”

“In support of this recommendation to approve it, we have a few code requirements that state that all monument signs shall not exceed 32 square feet of sign area and shall not exceed six feet in height. This is why the applicant is bringing this before the board. The board should be mindful and consider that this new sign is going to be more aesthetically appealing. We want to give the applicant the opportunity to just make some repairs so that it's more appealing to the eyesight for drivers going near the property can have something that's more legible and appealing. Does this grant variance really confer to the applicant? Would there be any significant privileges? No, there won't be any favoritism, meaning everything surrounding local merchants nearby, existing businesses and new businesses will all have to comply to the same code if we meet the adjustment. Everything complies with the code. Staff have considered it to be a benefit to the community and property. We now ask what your next steps is and would you guys support staff recommendation to approve.”



### VARIANCE CONSIDERATIONS

Following are the specific considerations listed in Sec 21-79 of the Stonecrest Sign Ordinance that must be considered by the Board of Zoning Appeals in order to grant a variance. These considerations include:

- (1) **Exceptional conditions pertaining to the property where the sign is to be located as a result of its size, shape, or topography, which are not applicable to other lands or structures in the area;**  
The new sign will be more aesthetically appealing and will be built in alignment with today's standards.
- (2) **Granting the variance would not confer on the applicant any significant privileges which are denied to others similarly situated;**  
No, the applicant will be shown no favoritism. All applicants are measured across the board using the same vetting process.
- (3) **The exceptional circumstances are not the result of action by the applicant;**  
By implementing this variance, the property's aesthetic appeal and the viewability of the text on the sign are enhanced.
- (4) **The requested variance is the minimum variance necessary to allow the applicant to enjoy the rights commonly enjoyed by others similarly situated;**  
There is no need for any additional variances to make the necessary change.
- (5) **Granting of the variance would not violate more than one standard of this chapter;**  
The variance does not violate any standards of this chapter.

**Granting the variance would not result in allowing a sign that interferes with road or highway visibility or obstructs or otherwise interferes with the safe and orderly movement of traffic.**

The variance would not interfere with road or highway visibility or obstruct or otherwise interfere with the safe and orderly movement of traffic.

*Chairman Armstrong* asked was the applicant present. The applicant was present.

*Chairman Armstrong* asked those in **support** to speak.

**Those in support:**

*Spoke-in-person:* Ms. Kelly Ross (District 1) asked did the Nigerian Seventh-Day Adventist Church have any other long-term beautification projects.

*Spoke-in-person:* Applicant, Reginald Madison came forward and spoke on behalf of the Nigerian Seventh-day Adventist Church stated that the sign was the first step in beautification when trying to create a curb appeal to beautify the community.

*Spoke-in-person:* Gwendolyn Green (District 2) asked Mr. Madison will he be the only person creating the signage.

*Spoke-in-person:* Applicant, Reginald Madison came forward and spoke on behalf of the Nigerian Seventh-day Adventist Church stated that he was not going to build the sign but will install it.

*Spoke-in-person:* Gwendolyn Green (District 2) asked was there anyone from the church body present and what was the anticipated time frame for the sign.

*Spoke-in-person:* A gentleman that stood next to Mr. Madison stated that he anticipates for the sign to be put up as soon as possible.

*Chairman Armstrong* asked those in **opposition** to speak. There were none.

Chairman Michael Armstrong asked for a motion. Mr. Shedrick Harris (District 5) motioned to **APPROVE PETITION V-22-003 WITH STAFF RECOMMENDATIONS**. Ms. Gwendolyn Green (District 2) seconded the motion. The vote was **unanimously APPROVED**.

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LAND USE PETITION:	V-22-004
PETITIONER:	NAUREEN LALANI WITH ATAI CONSTRUCTION
LOCATION:	2799 EVANS MILL ROAD
CURRENT ZONING:	C-1 AND STONECREST OVERLAY DISTRICT TIER 2
PROPOSED DEVELOPMENT:	TO ENCROACH 902 SF (3%) INTO THE STREAM BUFFER FOR THE CONSTRUCTION OF A NEW GAS STATION AND CONVENIENCE STORE.

*Keirston McMillan* presented V-22-004 – “The property is located at 2799 Evans Mill Road. The current zoning for this property is C-1 - Local Commercial and Stonecrest Overlay District Tier 2. We're looking at about more or less 1.1 acreage. The property owners are by SRN PROPERTIES LLC. The applicant is Ms. Naureen Lalani with Atai Construction. Staff recommends approval to encroach about 902 902 SF (3%) into the stream buffer for the construction of a new gas station and convenience store. As of now, this is a commercial property and a gas station known as Chevron. This property sits in the corner of Hillandale Drive and Evans Mills Road.”

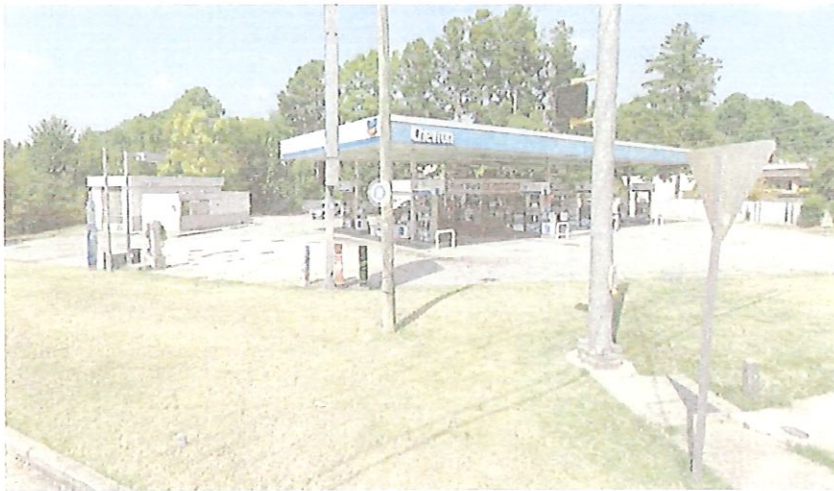


**Existing Conditions**

According to the engineers of Woodruff Design Associates, in addition to mitigating water quality and landscaping that do not currently exist on the site, the proposed improvements will design for stream bank protection that does not currently exist either and will allow for discharge mitigation that is not in place.

Ms. McMillan stated, “The applicant is going to demolish the existing gas station and rebuild. Staff recommend approving this proposed improvement and believe it’s going to benefit the area and improve the site in the surrounding areas. It will not cause excessive or burdensome use of the existing infrastructure.”

The pictures listed below show multiple images of what we are looking at to rebuild and make changes to.



“To support staff's recommendation of approval, I have a few codes that supports what's already in place with our comprehensive plan.”

**APPLICABLE CODE REQUIREMENTS**

**Land Development (Chapter 14)**

***Article 7 – Stream Buffer***

a. Sec. 14-543. - Minimum stream buffer requirements.

- (a) Stream buffers are established along all perennial and intermittent streams in the City. These required stream buffers begin at the stream bank and extend 75 feet away from the stream. The buffers must remain undisturbed except as otherwise provided in section 14-544.
- (b) Any new stormwater discharge crossing a stream buffer or state buffer zone must be designed to ensure that sheet flow is established through the stream buffer and to prevent channelized flow through the stream buffer.
- (c) Piping of streams is not allowed in required stream buffers unless a variance is granted

City of Stonecrest Zoning Ordinance (Chapter 27):

Article 2 - District Regulations

a. Division 24 – Non-Residential Zoning Districts

Dimensional Requirements, Section 2.24.1, Table 2.24 which establishes the overall site requirements and lot coverage dimensions for C-1

- Lot area (min. square feet) 20,000
- Lot width, street frontage (feet) 100
- Lot coverage (maximum percentage) TC/RC: 90  
All other: 80
- Height (maximum without a special land use permit (SLUP))\*\* 2 story/35 feet

b. Division 26 – C-1 (Local Commercial) District:

Section 2.26.4 – Site and Building Design Standards

Article 3 - Overlay District Regulations

a. Division 5 – Stonecrest Area Overlay District

“The proposed changes in existing conditions and any other changes have been communicated with the staff. Granting of this variance would not go beyond the minimum necessary requirements for relief and it does not constitute granting special privilege which is inconsistent with the limitations upon other properties and the same zone district. Meaning, what goes on here will also apply to any others based on what they are proposing as well. As the code reads to date, the applicable provisions would cause undue hardship. Meaning, we have realized that the further review that actual proves this variance would help rather than hurt. This proposed project is necessary as it will result in the restoration or enhancement of the water and aquatic quality, which will actually improve those things. At the review on our Stonecrest Comprehensive plan, it is in support of that as well and will also approve it if the board agrees to those conditions.”

*Chairman Armstrong* asked was the applicant present. The applicant was present.

*Spoke-in-person:* Ms. Kathleen Woodruff, a registered engineer, came forward and spoke on behalf of the owner and construction manager stated they are proposing to renovate a non-conforming lot, which is an existing gas station currently with a carwash that is already encroach into the buffers. Ms. Woodruff stated, "We are trying to make it a legal lot so that we can continue with our proposal to improve it. We will landscape per the Overlay District requirements that are currently in place. We will provide water quality, water quantity mitigation, fully renovate the building and canopy. We are not worried about any environmental conditions and do not need to move the storage tanks. We have no need to come into the 25-foot state buffer. We are really trying to bring a non-conforming lot into the legal stance since Stonecrest has incorporated and these ordinances have been put in place as this lot was developed long before that. We are reducing the encroachment within the 50-foot buffer and renovating that building. The way it corners off, creates a small encroachment that is very small but still necessary to get a variance approved.

*Chairman Armstrong* asked the ZBA Board did they have any questions for the applicant.

*Ms. Kelly Ross* (District 1) asked the time frame for the proposed development.

*Spoke-in-person:* Ms. Kathleen Woodruff stated they are ready to go and the contract is already in place. She also stated that she has been working with Deputy Director Keedra Jackson and staff regarding site plan and construction document submittals.

*Mr. Shedrick Harris* (District 5) asked did they plan to remove the carwash. Ms. Kathleen Woodruff replied, "right."

*Ms. Gwendolyn Green* (District 2) asked will the gas station remain at the location and will the company still be operated by the Chevron company.

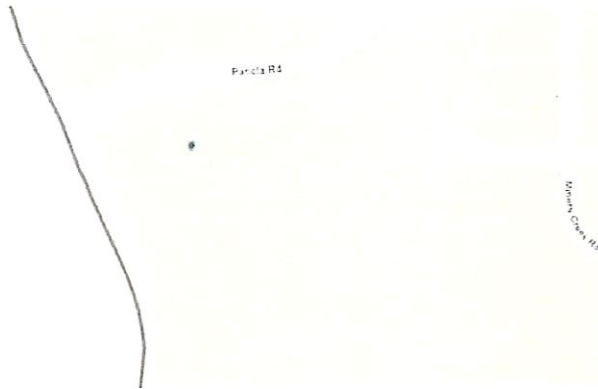
*Spoke-in-person:* Ms. Kathleen Woodruff stated it will still be a gas station with a convenience store but they will be removing the car wash so they can extend the convenience store portion.

*Chairman Armstrong* asked those in **opposition** to speak. There were none.

Chairman Michael Armstrong asked for a motion. Ms. Kelly Ross (District 1) motioned to **APPROVE PETITION V-22-004 WITH STAFF RECOMMENDATIONS**. Mr. Shedrick Harris (District 5) seconded the motion. The vote was **unanimously APPROVED**.

LAND USE PETITION: V-22-006  
 PETITIONER: CORPORATE ENVIRONMENT RISK MANAGEMENT  
 LOCATION: 4460 PANOLA ROAD  
 CURRENT ZONING: R-100 AND ARABIAN MOUNTAIN OVERLAY  
 PROPOSED DEVELOPMENT: TO RESTORE THE ERODED PORTIONS OF THE STREAM BANK AND STABILIZE THE EMBANKMENT.

*Keirston McMillan* presented V-22-006 – “The property is located at 4460 Panola Road. This particular zone is R-100 residential medium lot. The Arabian Mountain Overlay. The parcel size is about 80.79 acreage and the property owner is the City of Stonecrest Georgia. We will be partnering with the applicant, CERN, which is a corporate environmental risk management team. Staff recommends approving this petition with a few conditions because the applicant is seeking to restore the eroded portions of the stream bank and to stabilize the embankment by encroaching 25 to 50 inches onto the stream bank. The site is served on the south river stream bank at Panola Shoals trailhead. It is located near the southeast corner of the north intersection of Panola Road and SnapFinger Road in DeKalb County. “



“Sections of the screen embankment have eroded over time and they continue to do so with each major rainfall. Staff believe that it is important and very critical that we get a hold on this now as it continues to erode because there is a park nearby, which may cause further complications if we do not approve or move further with this project.”





### APPLICABLE CODE REQUIREMENTS

City of Stonecrest Zoning Ordinance (Chapter 14 – Land Development):

*Article 4 – Floodplain Management*

a. Division 2 – Definitions

Section 14-409 – Methods of reducing flood losses:

(a) Restrict or prohibit uses which are dangerous to health, safety, and property due to water or erosion hazards, or result in damaging increases in erosion or flood heights or velocities.

(b) Require that uses vulnerable to floods, including facilities which serve such uses, be protected against flood damage at the time of initial construction.

(c) Control the alteration of natural floodplains, stream channels, and natural protective barriers, which help accommodate or channel flood waters;

### VARIANCE CONSIDERATIONS

Following are the specific considerations listed in Sec 14-441: Nature of Variance of the Stonecrest Variance Procedure regarding land development and floodplain management. These considerations include:

(a) The variance criteria set forth in this division are based on the general principle of law that variances pertain to a piece of property and are not personal in nature. A variance may be granted for a parcel of property with physical characteristics so unusual that complying with the requirements of this article would create an exceptional hardship to the owner or the surrounding property owners. The characteristics must be unique to the property and not be shared by adjacent parcels. The unique characteristics must pertain to the land itself, not to the structure, its inhabitants, or the property owners.

(b) It is the duty of the Mayor and City Council to help protect its citizens from flooding. This need is so compelling and the implications of the cost of ensuring a structure built below flood level is so serious that variances from the flood elevation or from other requirements in the flood ordinance are quite rare. The long-term goal of preventing and reducing flood loss and damage can only be met if variances are strictly limited. Therefore, the variance guidelines provided in this article are more detailed and contain multiple provisions that must be met before a variance can be properly granted. The criteria are designed to screen out those situations in which alternatives other than a variance are more appropriate.

(Ord. No. 2018-06-03, § 14-441, 6-3-2018)

Zoning Board of Appeals Meeting Minutes Summary

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*Chairman Armstrong* asked the applicant to come forward.

*Spoke-in-person:* Applicant, Ishmael Lee, project engineer, came forward on behalf of the Sr. Engineer, Yasmin Moreno. Mr. Lee stated, "We are trying to store the integrity of the stream that have had some erosion over the years. This is an erosion control project putting in retaining walls, ready rock and stone. The buffer variance is a temporary variance during the intermediate stages of construction and the variance will be completely restored at completion of the construction. This is actually portions of the erosion control, the retaining wall parts of our ready rock retaining wall and the stone that is going to be encroaching there."

*Chairman Armstrong* asked the ZBA Board did they have any questions for the applicant.

*Ms. Gwendolyn Green* (District 2) asked will the encroachment be temporary and environmentally sound.

*Spoke-in-person:* Applicant, Ishmael Lee stated that the temporary encroachment was really for the mobility of the contractor to construct the retaining wall and it will be environmentally sound.

*Mr. Shedrick Harris* (District 5) asked was the erosion caused by the state park, which is adjacent to the other side of the river or was it caused by the rain.

*Spoke-in-person:* Applicant, Ishmael Lee stated, "It would be caused by the river itself. As the river swells over time, it just washes away the bank, depending on what kind of soil is there. Sometimes you can have like partial or a complete collapse of the bank and that's what kind of happens over time."

*Mr. Shedrick Harris* (District 5) stated, "Is it the state's responsibility to take care of the erosion because most of the erosion is coming from the rainwater as well as running down off of the State Park."

*Spoke-in-person:* Applicant, Ishmael Lee stated, "I can't speak to whose responsibility it is but I know from our research it's mostly the stream going through there causing the erosion."

*Ms. Kelly Ross* (District 1) asked the time frame for the erosion solution to become successful.

*Spoke-in-person:* Applicant, Ishmael Lee stated "It is a long-term solution but I can't give you an exact number on the life cycle. It will be immediately effective when the construction is complete."

*Ms. Kelly Ross* (District 1) stated, "Is there any projection around how often it needs to have maintenance or anything?"

*Spoke-in-person:* Applicant, Ishmael Lee stated, "I cannot give you an exact number. It would not need maintenance but mostly cutting the grass. It's a retaining wall and in some places there are multiple levels just keeping the grass and weeds maintained."

*Ms. Gwendolyn Green* (District 2) asked how would the flood plain impact the potential flooding.

*Spoke-in-person:* Applicant, Ishmael Lee stated, “The erosion is caused as the stream swells and it pulls sediment away from the bank. We're basically putting a wall there, which will act as a dam to protect the bank on the sediment.”

*Mr. Shedrick Harris* (District 5) wanted to know does Pole Creek run through that particular river. Mr. Lee replied, “I’m not sure.”

*Chairman Armstrong* opened motion for public hearing.

*Chairman Armstrong* asked those in **support** to speak. There were none.

*Chairman Armstrong* asked those in **opposition** to speak. There were none.

*Chairman Armstrong* closed the public hearing before going into discussion.

Commissioner Michael Armstrong asked for a motion. Ms. Gwendolyn Green (District 2) motioned to **APPROVE PETITION V-22-006 WITH STAFF RECOMMENDATIONS**. Ross seconded the motion. The vote was **unanimously APPROVED**.

- I. **Public Comments:** The Secretary Keirston McMillan did not receive any public general comments to be read.
  
- II. **Adjournment**  
The vote was carried unanimously to adjourn the meeting at 7:17 PM. Ms. Gwendolyn Green (District 2) motioned to adjourn the meeting. Mr. Shedrick Harris (District 5) seconded the motion.

Visit the following link to view the meeting: [ZBA Meeting 11-15-2022](#)

**APPROVED:**

\_\_\_\_\_  
Chairman Date

**ATTEST:**

\_\_\_\_\_  
Secretary Date





# Staff Reports



**ZONING BOARD OF APPEALS STAFF REPORT**

**Zoning Board of Appeals Public Hearing  
February 21, 2023**

<b>CASE NUMBER:</b>	<b>AAA22-000002</b>
<b>PROPERTY LOCATION:</b>	<b>6030 Hillandale Drive Stonecrest GA 30058 (Parcel 16 088 01 002)</b>
<b>CURRENT ZONING:</b>	<b>M (Light Industrial)</b>
<b>PARCEL SIZE:</b>	<b>1.16 +/- acres</b>
<b>PROPERTY OWNER(S):</b>	<b>SHAH ALI INVESTMENT</b>
<b>APPLICANT:</b>	<b>Linda Dunlavy, Dunlavy Law Group, LLC on behalf of Applicant Shah Ali Enterprises, LLC</b>
<b>STAFF RECOMMENDATION:</b>	<b>Approval with Conditions</b>
<b>VARIANCE REQUEST:</b>	<b>To appeal administrative decision to deny issuance of certificate of occupancy for convenience store/gas station</b>

**Current Use**

The current use of the subject property is for commercial purposes for use as a convenience store and a gas station. This property owner, Shah Ali Enterprises, has received a serious interest in the sale of the completed project from Circle K in the amount of \$4.3 million. Property is located at 6030 Hillandale Drive Stonecrest GA 30058.

**Zoning and Case History**

The subject property and all surrounding properties are zoned M – Light Industrial and Stonecrest Overlay District Tier 6. There were no known conditions of zoning found associated to this property.

The City’s Zoning Ordinance prohibits package store but not alcohol outlets that are accessory to convenience store/gas stations.



**ZONING BOARD OF APPEALS STAFF REPORT**



**Figure 1: 6030 Hillandale Drive  
Retrieved from CityMap of Stonecrest, GA GIS**

**Zoning**

- |   |   |
|---|---|
|  NS - Neighborhood Shopping              |  R-85 - Residential Med Lot      |
|  C-1 - Local Commercial                  |  R-75 - Residential Med Lot      |
|  C-2 - General Commercial                |  R-60 - Residential Small Lot    |
|  OIT - Office-Institutional-Transitional |  RSM - Small Lot Residential Mix |
|  OI - Office-Institutional               |  MR-1 - Med Density Residential  |
|  OD - Office-Distribution                |  MR-2 - Med Density Residential  |
|  M - Light Industrial                    |   |
|  M-2 - Heavy Industrial                  |   |
|  MU-4 - Mixed-Use High Density           |   |
|  RE - Residential Estate                 |   |
|  R-100 - Residential Med Lot             |   |



## ZONING BOARD OF APPEALS STAFF REPORT

### Existing Conditions

According to the Linda Dunlavy's administrative appeal application, "On November 4, 2022, more than one year after Shah Ali had been issued a land disturbance permit (#LD21-000029) and two years after a building permit had been issued, Keedra Jackson (Deputy Director of the City's Planning and Zoning Department) advised Shah Ali that because his proposed development did not meet requirements if a text amendment passed on July 26, 2021, it would need to apply for and secure a special land use permit before a certificate of occupancy could be issued. At the point of this communication, Shah Ali had completed construction of the gas station/convenience store in reliance upon the permits and other approvals provided by the City since over the course of the past 2+ years and expended more than \$3million in construction costs."

Please note: The land disturbance permit (#LD21-000029) was issued on October 13, 2021. The commercial building permit (#CB20-000073) was issued on November 18, 2021.

### Administrative Appeal

The applicant is seeking an administrative appeal for relief from the decision to deny the issuance of a certificate of occupancy for a convenience store/gas station. As a convenience store/gas station with an alcohol outlet, it is important to note Section 4.2.8. B of the Chapter 27 Zoning Ordinance prohibits alcohol outlets being within 600 feet of a school building, school grounds, educational facility, college campus or sexually oriented business or substance abuse treatment owned, operated, or approved by the state or county or municipal government. Furthermore, is the violation of the location criteria. Section 4.2.28.D., states Fuel pumps associated with convenience stores, gas stations, and service stations cannot be located within 100 feet of an intersection of a major arterial and a major or minor arterial road or located within 500 feet of an interstate highway intersection with an arterial street designated as on the Functional Classification Map in the City the Comprehensive Plan. Per staff's due diligence, there is another gas station adjacent to the subject property and there is a rehab facility next door. The applicant has violated these standards.



**ZONING BOARD OF APPEALS STAFF REPORT**



*Figure 1: AAA22-000002 6030 Hillandale Drive*



*Figure 2: AAA22-000002 6030 Hillandale Drive*



## ZONING BOARD OF APPEALS STAFF REPORT

### APPLICABLE CODE REQUIREMENTS

#### Zoning Ordinance (Chapter 27)

#### *Article 2 – District Regulations*

#### Division 31: M (Light Industrial) District

#### Sec. 2.31.1. Statement of purpose and intent.

The purpose and intent of the City Council in establishing the M (Light Industrial) District is as follows:

- A) To provide areas for the establishment of businesses engaged in the manufacturing, processing, creating, repairing, renovating, painting, cleaning, or assembling of goods, merchandise, or equipment and the sale and distribution of such goods, merchandise or equipment in locations so designated in the comprehensive plan;
- B) To provide an environment for light industrial uses that produces no appreciable impact on adjacent properties and preserve the appeal and appearance of residential and commercial areas;
- C) To ensure that all establishments located within the M (Light Industrial) District operate in compliance with the noise standards contained in this chapter and that any negative noise impact resulting from the use of land within the M (Light Industrial) District is contained within the boundaries of said district and does not create noise problems for adjoining residential, office or commercial districts;
- D) To provide an area within City of Stonecrest for recycling and green businesses to locate;
- E) To generate employment opportunities and economic development;
- F) To ensure that M (Light Industrial) Districts are so located that transportation access to thoroughfares and freeways is available;
- G) To implement the future development map of the city's most current comprehensive plan

#### Zoning Ordinance (Chapter 27)

#### *Article 1– General Requirements*

#### Division 5: Variances and Appeals to the Zoning Board of Appeals

#### a. Sec. 7.5.2. – Appeals of decisions of administrative officials

#### *A. General power.*

The zoning board of appeals shall have the power and duty to hear and decide appeals where it is alleged by the appellant that there is error in any final order, requirement, or decision made by an administrative official based on or made in the enforcement of this zoning ordinance or as otherwise authorized by local law or the Code of the City of Stonecrest. Administrative officials must make final decisions covered by this section within 180 days of receipt of all necessary information to make such decision. A failure to act prior to the passage of 180 days shall not be construed to be a final order, requirement, or decision within the meaning of this division. If a decision is not made by the 181st day, the requested decision is deemed denied and becomes appealable. All such appeals shall be heard and decided following the notice requirements of section 7.2.4, and pursuant to the following criteria and procedural requirements.

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Administrative Appeal RE: AAA22-000002

February 21, 2023

Keirston McMillan, Planner



## ZONING BOARD OF APPEALS STAFF REPORT

### *B. Appeals of decisions of administrative officials.*

Appeals of decisions of administrative officials may be filed by:

- (1) Any person aggrieved by; or
- (2) An owner of property within 250 feet of the nearest property line of the property that is the subject of any final order, requirement, or decision of an administrative official, based on or made in the enforcement of this zoning ordinance, or as otherwise authorized by local law or the Code of the City of Stonecrest.

### City of Stonecrest Zoning Ordinance (Chapter 27):

#### *Division 5: Stonecrest Area Overlay District*

Prohibited uses. The following principal uses of land and structures are prohibited.

1. Sexually Oriented Business
2. Pawn Shops
3. Package stores
4. Check cashing facility



## ZONING BOARD OF APPEALS STAFF REPORT

### STAFF ANALYSIS

Following are the specific variance considerations listed in Sec 7.5.3 of the Stonecrest Zoning Ordinance that must be considered by the Board of Zoning Appeals to grant a variance. These considerations include:

- A. By reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slope), which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district.**

There are no exceptional site conditions. The collected data showcases known events which support the argument of requested documentation being provided and submitted by the applicant. A request was communicated with staff for an administrative appeal.

- B. The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.**

Granting the administrative variance would not go beyond the minimum necessary to afford relief and does not constitute granting special privilege which is inconsistent with the limitations upon other properties in the zoning district in which the subject property is located. Due to the site factors, space requirements of the site, and conditions of the process of this development the applicant's request is reasonable.

- C. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.**

By implementing or approving this variance request, the site and its surrounding area will be significantly impacted. There has however been concern about the proliferation of gas service stations in the city and their negative impacts on adjacent neighborhoods. These updated regulations allow Planning Commission, and City Council more opportunities to review Special Land Use Permits on a case-by-case basis for these uses. The updates also help to tighten up the location criteria for such uses restricting where they can be placed. However, based on the information presented and case finding, this case been in the pipeline for over two years, and the applicant had been receiving the "green" light via approved land use permits and commercial business permits that were reviewed by the building department. Before construction, then City Planner Christopher Wheeler confirmed zoning for applicant.

- D. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship.**

As the code reads today, the applicable provisions would cause concern as this will be the second gas station in the area. It is in the City's best interest to thoroughly review all incoming documents and collaborate more effectively with between departments to avoid misinterpretation of the process or the ordinance. Therefore, considering the movement of the project, on a case by case basis, staff





### **ZONING BOARD OF APPEALS STAFF REPORT**

recommends the approval of the issuance of a certificate of occupancy for applicant only after the condition to secure fuel underground storage permit has been met.

**E. The requested variance would be consistent with the spirit and purpose of this chapter and the Stonecrest Comprehensive Plan text.**

It is important to note the application and process started before the new ordinance took effect. The process began in October 2017, and the ordinance was passed on July 26, 2021. Based on the ordinance and information presented at the start of the project, the project was consistent with the spirit with the purpose of the existing chapter and the Stonecrest Comprehensive Plan. That is why the appeal has been brought before this board for further review. Based on the updated ordinance regarding convenience stores/gas stations with an alcohol outlet, new requirements such as acquiring a Special Land Use Permit and not being within 1,000 feet of another gas station and not being within 600 feet of an educational facility or substance abuse treatment facility are in effect. The requested variance would be consistent with the spirit and purpose of this chapter and the Stonecrest Comprehensive Plan, which has designated this site as Suburban on the Future Development Map.

*NOTE: Special Land Use Permit (or SLUP)* is in reference to cases where a use is permitted but there are supplemental use regulations.

### **RECOMMENDED CONDITIONS**

Based on the findings and conclusions, it appears the applicant meets all the criteria for approval. Therefore, staff recommends **Approval of AAA22-000002** with the following condition (s):

- The applicant shall secure fuel underground storage permit/license or certificate of station registration and a Special Land Use Permit before issuance of a certificate of occupancy



**ZONING BOARD OF APPEALS STAFF REPORT**

**Zoning Board of Appeals Public Hearing  
February 21, 2023**

<b>CASE NUMBER:</b>	<b>V22-000008</b>
<b>PROPERTY LOCATION:</b>	<b>6257 Hillandale Drive (Parcel 16 105 03 002)</b>
<b>CURRENT ZONING:</b>	<b>OD - (Office Distribution) District</b>
<b>CONDITION:</b>	<b>CZ-97061</b>
<b>PARCEL SIZE:</b>	<b>2.09 +/- acres</b>
<b>PROPERTY OWNER(S):</b>	<b>CORNERSTONE CAPITAL INVESTMENT</b>
<b>APPLICANT:</b>	<b>Joshua Mahoney, Battle Law on behalf of Applicant Cornerstone Capital Investment</b>
<b>STAFF RECOMMENDATION:</b>	<b>Approval</b>
<b>VARIANCE REQUEST:</b>	<b>To decrease in setback requirements from 75 ft to 50 ft</b>

**Current Use**

Based on findings presented in the letter of intent provide by Battle Law, “The proposed development will include a self-storage facility across one tract of two point twenty-six (2.26) acres. The building containing the self-storage units will be two (2) stories with a basement for a total footprint of 34,986 square feet and across the three levels, a combined 104,958 total square footage of storage space. The development will include two (2) road access points, both on Hillandale Road. One access point will provide first-level loading while the other will provide basement-level loading access. Thirteen (13) guest parking spaces (twelve [12] regular spaces and one [1] ADA accessible space) will be provided on the tract as well” (Battle, 2022, p. 2).

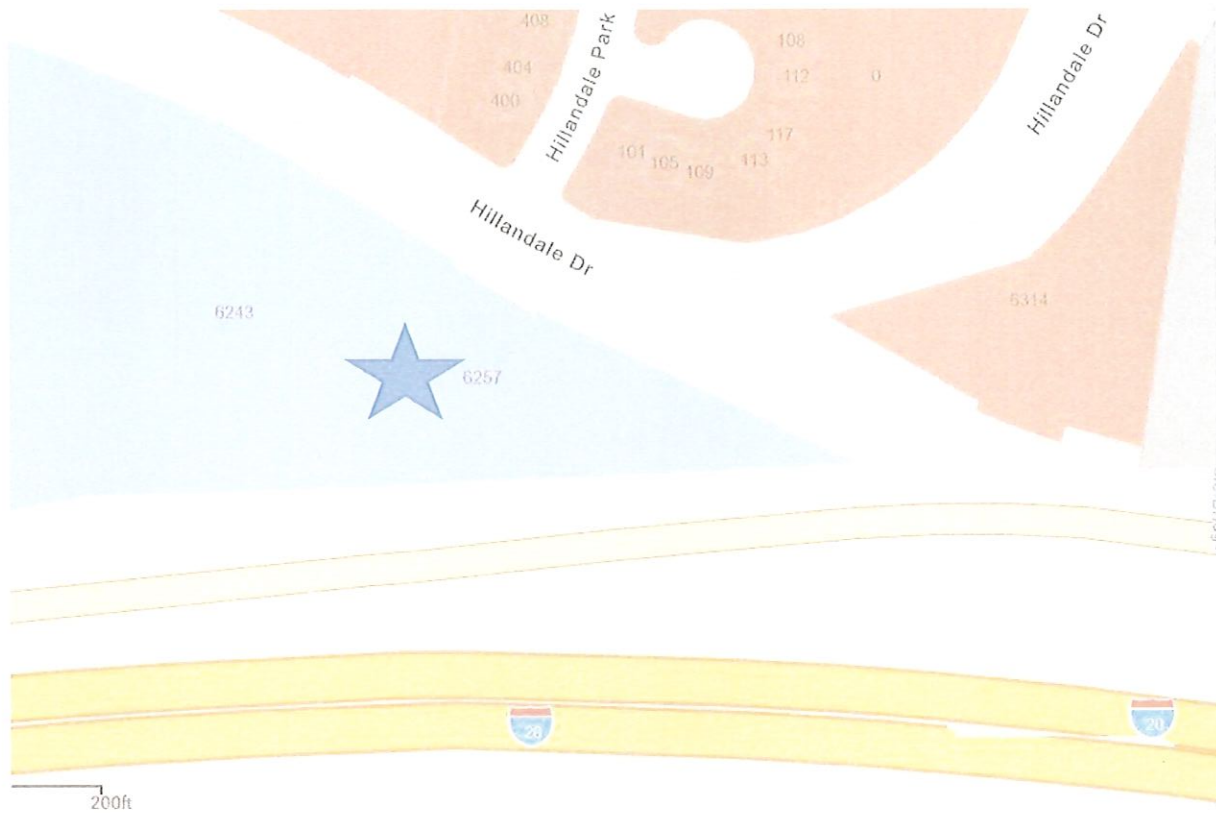
**Zoning and Case History**

The subject property and all surrounding properties are zoned OD (Office Distribution) District.

ZONING OD  
CONDITION CZ-97061



**ZONING BOARD OF APPEALS STAFF REPORT**



**Figure 1: 6257 Hillandale DR**  
*Retrieved from CityMap of Stonecrest, GA Zoning GIS*



**ZONING BOARD OF APPEALS STAFF REPORT**



*Figure 2: Aerial View of 6257 Hillandale Drive Stonecrest, Georgia  
Retrieved from Google Maps*

**Existing Conditions**

CONDITION CZ-97061

**Variance Request**

The applicant is seeking a variance to decrease in setback requirements from 75 ft to 50 ft.



## ZONING BOARD OF APPEALS STAFF REPORT

### APPLICABLE CODE REQUIREMENTS

City of Stonecrest Zoning Ordinance (Chapter 27):

*Article 2 – District Regulations*

Division 28 – OD (Office-Distribution) District

Sec. 2.28.1. - Statement of purpose and intent.

The purpose and intent of the City Council in establishing the OD (Office-Distribution) District is as follows:

- A. To provide convenient areas within the city for the development of office and distribution establishments which are necessary for the residents and business practitioners within the city; and
- B. To implement the future development map of the city's most current comprehensive plan.

City of Stonecrest Zoning Ordinance (Chapter 27):

*Article 3 – Overlay District Regulations*

Division 5 – Stonecrest Area Overlay District



## ZONING BOARD OF APPEALS STAFF REPORT

### VARIANCE CONSIDERATIONS AND STAFF ANALYSIS

Following are the criteria listed in Sec 7.5.3 of the City of Stonecrest Zoning Ordinance that must be considered by the Zoning Board of Appeals in deciding applications for variances:

1. **By reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic conditions and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slope), which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district;**

The parcel's location between Hillandale Road and Interstate-20 create an irregular lot shape that is not congruent with the shape of building. As a result, this particular site location poses the risk of creating exceptional narrowness for the proposed development unlike other property owners in the area. Due to the lot's narrowness and triangular shape, the zoning code's minimum requirements related to parking minimums, impervious surface maximums, and greenspace minimums begin to conflict with one another. Because of this, the property owner is unable to fully develop the parcel for its intended use (Battle, 2022, p. 2).

2. **The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district which the subject property is located;**

"The required variance of lowering the minimum setback requirement from seventy-five feet (75') to fifty feet (50') does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district which the subject property is located. The variance would still allow for all minimum parking requirements to be met. Additionally, it keeps the footprint of the building under the maximum impervious area allowed in the zoning district while providing more than the minimum amount of greenspace required by the zoning district. Finally, as demonstrated in the concept plan, to build the storage facility to the correct proportions, the building goes right up to the proposed new setback of fifty feet (50'), and it would not be able to fit in the current required setback of seventy-five feet (75')" (Battle, 2022, p. 2).

3. **The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located;**

Page 5

Variance Petition: V-22-000008

February 21, 2023

Keirston McMillan, Planner



## ZONING BOARD OF APPEALS STAFF REPORT

The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.

- 4. The literal interpretation and strict application of the applicable provisions or requirements of this Chapter would cause undue and unnecessary hardship; not merely impose a casual/discretionary inconvenience up the applicant or his assigns;**

The literal and strict application of the applicable provisions and requirements of this Chapter of the zoning code would cause undue and unnecessary hardship. The unusual lot shape and narrowness of the lot size would not allow for all the requirements of the zoning code to be met. By asking for this minimum variance on the setback, the applicant can as structurally develop the property to achieve its intended commercial purpose safely.

- 5. The requested variance would be consistent with the spirit and purpose of this Chapter and the City of Stonecrest Comprehensive Plan text.**

The proposed purpose of the setback requirements within the City of Stonecrest Zoning Ordinance and the City of Stonecrest Comprehensive Plan text are

- To provide convenient areas within the city for the development of office and distribution establishments which are necessary for the residents and business practitioners within the city; and
- To implement the future development map of the city's most current comprehensive plan, and to provide transitional buffers between developments located to adjacent low density residential properties respectively.

By only requiring the minimum necessary variance adjustment need to provide relief, the requested variance remains consistent with the spirit and purpose of this Chapter and the City of Stonecrest Comprehensive Plan text by facilitating both these documents' spirits and outlined purposes. This variance will allow for more parking spaces and landscaping, which will contribute to the transitional buffer between developments. Furthermore, storage facilities have little to no adverse community impact – they are known for generating very low amounts of traffic and will not place further strain on school systems. Finally, by allowing the variance, the applicant will be able to build the storage facility that is necessary to support the nearby commercial and residential areas by adding additional climate-controlled, self-storage options (Battle, 2022, p. 3).



## ZONING BOARD OF APPEALS STAFF REPORT

### RECOMMENDED CONDITIONS

Based on the findings and conclusions, it appears the applicant meets all the criteria for approval. Therefore, staff recommends **Approval of V-22-000008 to decrease in setback requirements from 75 ft to 50 ft.**





## ZONING BOARD OF APPEALS STAFF REPORT

### Works Cited

Battle, M. L. (2022, October 17). Battle Law Letter of Intent. Tucker.

# APPLICATIONS

# Supporting Documents

**Proposed C-STORE**

1535 LAFAYETTE HWY  
 DECATUR, GA 30033

GENERAL CONTRACTOR MANAGEMENT, LLC  
 6235 WILLOWDALE DRIVE  
 LITHIA, GA 30258  
 (678) 777-0000

DATE: 02/20/20  
 PROJECT NO: 2019-0080  
 SHEET NO: 1 OF 1

**Proposed C-STORE**

1535 LAFAYETTE HWY  
 DECATUR, GA 30033

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 LITHIA, GA 30258  
 (678) 777-0000

**SITE AREA CALCULATIONS**

DATE: 02/20/20  
 PROJECT NO: 2019-0080  
 SHEET NO: 1 OF 1

**SITE DATA**

OWNER: GENERAL CONTRACTOR MANAGEMENT, LLC  
 PROJECT: PROPOSED C-STORE  
 ADDRESS: 1535 LAFAYETTE HWY, DECATUR, GA 30033

**BUILDING DATA**

DESCRIPTION	QUANTITY	UNIT
CONCRETE	10,000	CU YD
STEEL	100,000	LB
BRICK	100,000	BRICK
GLASS	10,000	SQ FT
ASPH/FLT	10,000	SQ YD
PAVING	10,000	SQ YD
LANDSCAPING	10,000	SQ YD
UTILITIES	10,000	LINE FT
MECHANICAL	10,000	SQ FT
ELECTRICAL	10,000	SQ FT
PLUMBING	10,000	SQ FT
FINISHES	10,000	SQ FT
MECHANICAL	10,000	SQ FT
ELECTRICAL	10,000	SQ FT
PLUMBING	10,000	SQ FT
FINISHES	10,000	SQ FT

**PROPOSED PARKING DATA**

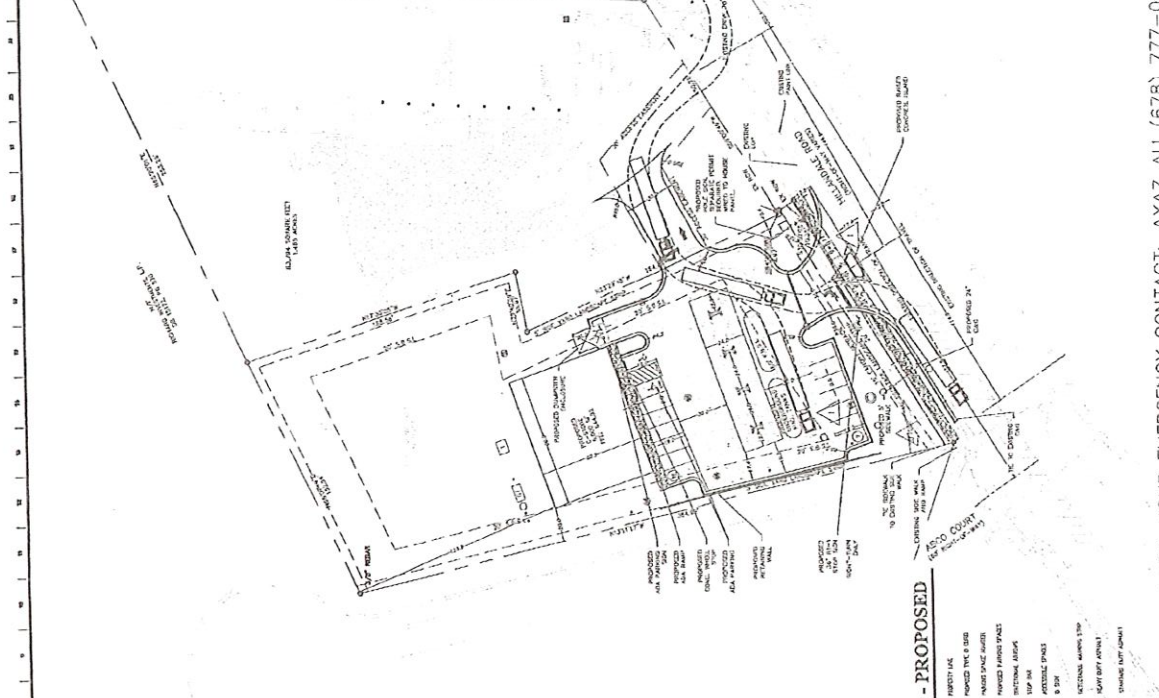
DATE: 02/20/20  
 PROJECT NO: 2019-0080  
 SHEET NO: 1 OF 1

TYPE	NUMBER	AREA (SQ FT)
STANDARD	100	10,000
COMPACT	50	5,000
BIKE	10	1,000
TOTAL	160	16,000

**PROPOSED C-STORE**

1535 LAFAYETTE HWY  
 DECATUR, GA 30033

GENERAL CONTRACTOR MANAGEMENT, LLC  
 6235 WILLOWDALE DRIVE  
 LITHIA, GA 30258  
 (678) 777-0000



- NOTES**
1. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, 2018 EDITION, GEORGIA DEPARTMENT OF TRANSPORTATION, 2018 EDITION.
  2. ALL UTILITIES SHALL BE LOCATED AND DEPT. OF TRANSPORTATION, 2018 EDITION.
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  20. ALL UTILITIES SHALL BE LOCATED AND DEPT. OF TRANSPORTATION, 2018 EDITION.

**HILLENDALE DRIVE  
 SIGHT DISTANCE FOR STREETS & DRIVEWAYS**

DATE: 02/20/20

**LEGEND - EXISTING**

- 1. EXISTING DRIVE
- 2. EXISTING DRIVEWAY
- 3. EXISTING DRIVEWAY
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**LEGEND - PROPOSED**

- 1. PROPOSED DRIVE
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- 19. PROPOSED DRIVEWAY
- 20. PROPOSED DRIVEWAY



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Drawing List

A000	Project info & cover	11090200	No
A001	T10 sheet	11090200	No
A002	Materials	11090200	No
A003	Section Materials & Standards	11090200	No
A004	Life Safety	11090200	No
A005	Partition Types & details	11090200	No
A006	Site Plan	11090200	No
A007	Level Floor Plan	11090200	No
A008	Entrapped Frame	11090200	No
A009	Typical Roof, Roofs	11090200	No
A010	Roof Framing	11090200	No
A011	Roof Framing	11090200	No
A012	Elevations	11090200	No
A013	Elevations	11090200	No
A014	Chimney Mass, Elevations	11090200	No
A015	Building Sections	11090200	No
A016	Building Sections	11090200	No
A017	Wall Sections	11090200	No
A018	Wall Sections & Window Enlarged	11090200	No
A019	Wall Details	11090200	No
A020	Door Schedule & details	11090200	No
A021	Main Level Pathways	11090200	No
A022	Interior Circulation & Phase Plan	11090200	No
A023	Interior Elevations	11090200	No
A024	Areas	11090200	No
A025	Electrical T10 Sheet	11090200	No
A026	Level 1 Power Plan	11090200	No
A027	Level 1 Power Plan	11090200	No
A028	Roof Power Plan	11090200	No
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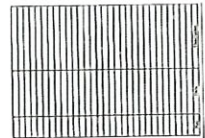
SCOPE OF WORK:

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: PROVIDING ALL MATERIALS AND LABOR FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: PROVIDING ALL MATERIALS AND LABOR FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: PROVIDING ALL MATERIALS AND LABOR FOR THE CONSTRUCTION OF THE PROJECT.

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17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: PROVIDING ALL MATERIALS AND LABOR FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: PROVIDING ALL MATERIALS AND LABOR FOR THE CONSTRUCTION OF THE PROJECT.

released for construction

ALL RFI (REQUEST FOR INFORMATION) SHALL BE SUBMITTED BY E-MAIL



Hilfield Colter  
14000 Hillside Drive, Littleton  
CO



ARCHITECTURE  
INTERIOR DESIGN  
LAND PLANNING

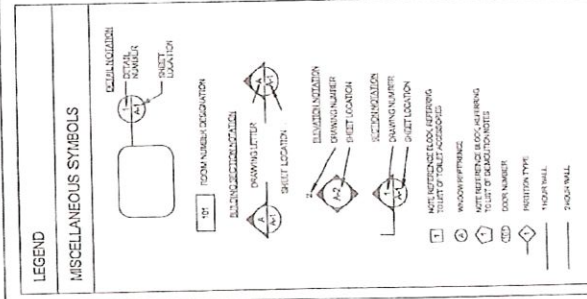
3142 Palmyra Rd  
Boulder, Colorado 80504  
Tel: 303.440.3333  
Fax: 303.440.3333  
www.hilfieldcolter.com



PROJECT NO.  
DATE: 11/09/2009  
PROJECT NO.:  
DRAWN BY:  
CHECKED BY:

Title sheet

A001



#### ABBREVIATIONS

SYM.	DESCRIPTION
ALUM.	ALUMINUM
ARCH.	ARCHITECT
ASPH.	ASPHALT
BLK.	BLOCK
BRK.	BREAK
CL.	CASE
CLC.	CLEAR
CLG.	CLEARANCE
CLL.	CASE
CLM.	CASE
CLN.	CLEAN
CLP.	CASE
CLQ.	CASE
CLR.	CLEAR
CLD.	CLEAR
CLF.	CLEAR
CLG.	CLEAR
CLH.	CLEAR
CLJ.	CLEAR
CLK.	CLEAR
CLL.	CLEAR
CLM.	CLEAR
CLN.	CLEAN
CLO.	CLEAR
CLP.	CASE
CLQ.	CASE
CLR.	CLEAR
CLS.	CLEAR
CLT.	CLEAR
CLU.	CLEAR
CLV.	CLEAR
CLW.	CLEAR
CLX.	CLEAR
CLY.	CLEAR
CLZ.	CLEAR
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CL22.	CLEAR
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CL24.	CLEAR
CL25.	CLEAR
CL26.	CLEAR
CL27.	CLEAR
CL28.	CLEAR
CL29.	CLEAR
CL30.	CLEAR


#### MATERIAL INDICATIONS

SECTION	DESCRIPTION
CONCRETE MASONRY	CONCRETE MASONRY
CONCRETE	CONCRETE
BRICK	BRICK
INSULATION	INSULATION
FISH FOOD	FISH FOOD
WOOD FRAMING	WOOD FRAMING
WOOD CLADDING	WOOD CLADDING
ROCK INSULATION	ROCK INSULATION
INSULATION	INSULATION
STEEL	STEEL
PAINT	PAINT
GRANITE VENEER	GRANITE VENEER
PLAN	PLAN
METAL STUD WALL	METAL STUD WALL
CONCRETE MASONRY	CONCRETE MASONRY
GRANITE VENEER	GRANITE VENEER
DOOR OPENING	DOOR OPENING
WINDOW OPENING GLAZE	WINDOW OPENING GLAZE
ELEVATION	ELEVATION
EXTENSION RELAY FINISH	EXTENSION RELAY FINISH
DOOR VENEER	DOOR VENEER

### General Notes:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL STATE FEDERAL AND COUNTY CODES, THE GOVERNING CODES, THE PLANS AND SPECIFICATIONS, THE CONTRACT DOCUMENTS AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
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10. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

Michael Coiro  
Michael Coiro  
6000 Hillside Drive, Lufkin  
TX 77954  
TX 77954



ARCHITECTURE  
INTERIOR DESIGN  
LAND PLANNING

3164 W. Highway 80  
Lufkin, TX 77954  
Tel: 361-294-5900  
Fax: 361-294-5901  
www.michaelcoiro.com



DATE: 1/16/2020  
PROJECT NO.:  
DRAWN BY:  
CHECKED BY:  
MATERIALS

A002

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THE DEVELOPER SHALL BEAR THE FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING:

1. PERMIT FEES, INSPECTION AND FEE, ALL IMPACT
2. POWER, WATER AND UTILITY HOOR UP.
3. A LICENSED SURVEYOR SHALL DO ALL SITE LAYOUT WORK. A SURVEYOR REPORT TO BE SUBMITTED TO THE COUNTY CLERK.
4. PLANS FOR FIRE PROTECTION SHALL BE APPROVED BY THE COUNTY FIRE MARGINALS OFFICE PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
6. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
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ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL STATE FEDERAL AND COUNTY CODES, THE GOVERNING CODES, THE PLANS AND SPECIFICATIONS, THE CONTRACT DOCUMENTS AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

PROPERTY OF CONSTRUCTION MANAGER AND BUILDERS. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING OR ANY PORTION THEREOF MAY BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE PROJECT MANAGER. THIS DRAWING IS THE PROPERTY OF THE PROJECT MANAGER AND SHALL BE KEPT UNDER STRICTLY CONTROLLED ACCESS.

THE CONTRACTOR SHALL PROVIDE THE FOLLOWING ITEMS WITH THE CONTRACT: ALL MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

TRANSITION STRIP SHALL BE INSTALLED AT ALL DOOR AND WINDOW THRESHOLDS TO WALLS, FLOORS OR CEILING CEILING ETC.

ALL SECTIONS, DETAILS AND MATERIALS METHODS ETC MUST BE APPROVED BY THE PROJECT MANAGER PRIOR TO CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL STATE FEDERAL AND COUNTY CODES, THE GOVERNING CODES, THE PLANS AND SPECIFICATIONS, THE CONTRACT DOCUMENTS AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

EXCAVATION PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

THE GENERAL CONTRACTOR SHALL BEAR THE FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING:

1. TEMPORARY POWER AND UTILITIES
2. TEMPORARY POWER AND UTILITIES
3. TEMPORARY POWER AND UTILITIES
4. TEMPORARY POWER AND UTILITIES

THE CONTRACTOR SHALL COORDINATE ALL PRINTING OF THE WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.

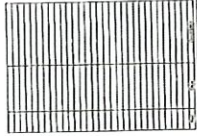
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Miraflores Colono  
 Miraflores Colono  
 6000 Miraflores Drive, Alhambra  
 CA



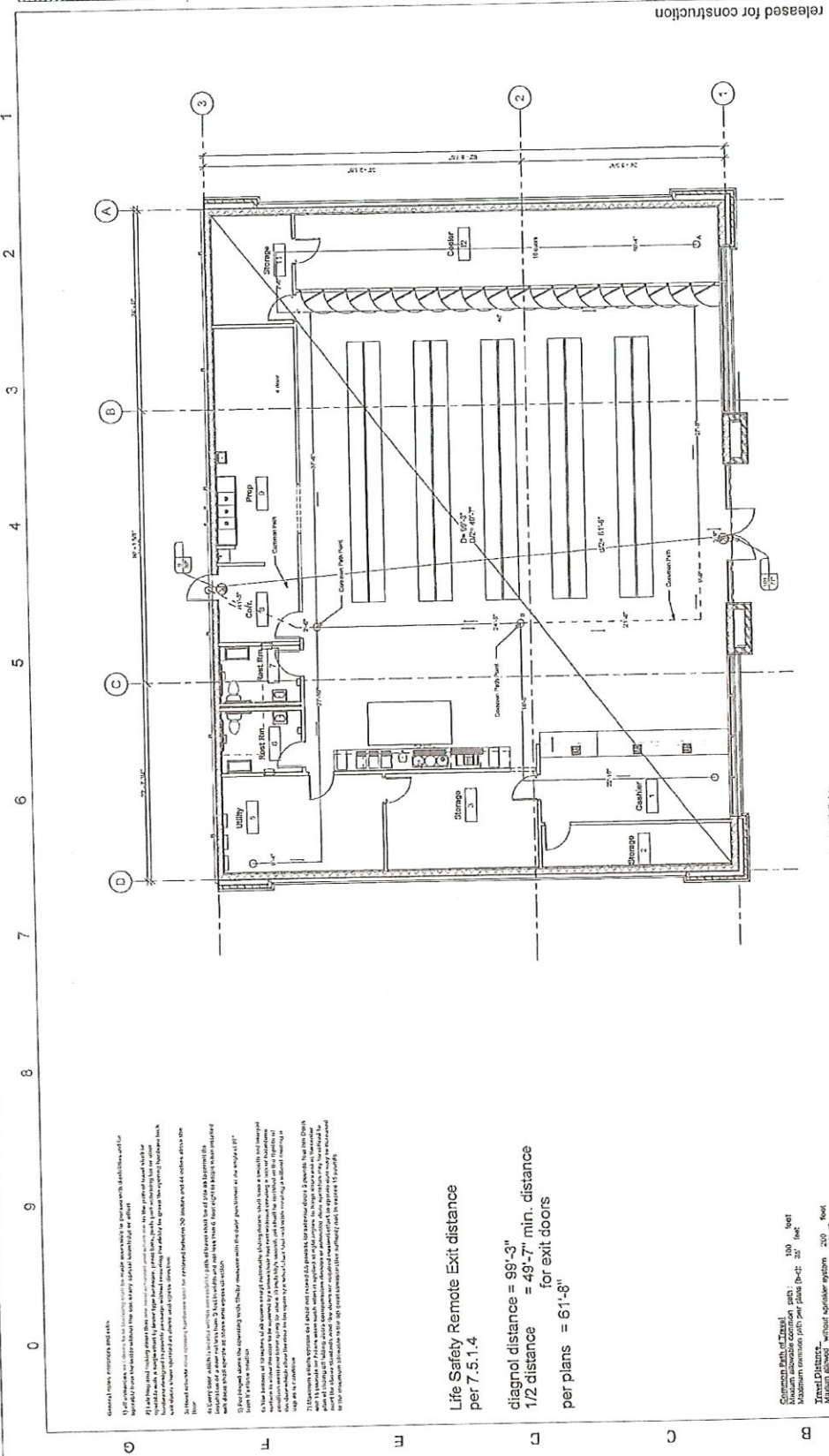
ARCHITECTURE  
 INTERIOR DESIGN  
 LAND PLANNING

11000 N. Hollywood Blvd.  
 Suite 1000  
 Hollywood, CA 91605  
 TEL: 323-461-1000  
 FAX: 323-461-1001  
 WWW: WWW.MIRAFLORES.COM



DATE: 11/16/2010  
 PROJECT NO: 11000020  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: Life Safety

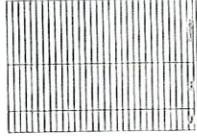
A004



NOTES:  
 1. The Fire Department shall be notified for their requirements for this building.  
 2. The building shall be constructed in accordance with the California Building Code.  
 3. The building shall be constructed in accordance with the California Building Code.  
 4. The building shall be constructed in accordance with the California Building Code.  
 5. The building shall be constructed in accordance with the California Building Code.  
 6. The building shall be constructed in accordance with the California Building Code.  
 7. The building shall be constructed in accordance with the California Building Code.  
 8. The building shall be constructed in accordance with the California Building Code.  
 9. The building shall be constructed in accordance with the California Building Code.

Life Safety Remote Exit distance  
 per 7.5.1.4  
 diagonal distance = 99'-3"  
 1/2 distance = 49'-7" min. distance  
 for exit doors  
 per plans = 61'-8"

Common Bath of Men: 110 sq. ft.  
 Maximum allowable occupant load per floor (b-c): 237' x 60'  
 Maximum allowable occupant load per floor (b-c): 237' x 60'  
 Maximum allowed without sprinkler system: 210 x 60 sq. ft.  
 Maximum provided per plans (b-c): 132' x 40'



**Partition Notes:**

- 1- Use reader adjusted dimensions to locate layout (top & bottom) to within 1/8" (i.e. - H10 or R10m10).
- 2- Use exact below and field conditions to determine the proper page for stud size for wall type.
- 3- Note all penetrations thru the walls must be fire sealed by factory installed partitions that be verified in accordance with manufacturer's instructions.
- 4- All partitions shall not be set or placed, all partitions shall be installed in accordance with manufacturer's instructions.
- 5- Drywall joints shall not break at corners unless otherwise noted.
- 6- All door frame openings shall be lined with treated lumber for blocking.
- 7- U.C. shall continue blocking for all doors to be supported by lumber within partitions. Single doors shall not be supported.
- 8- All steel columns shall be wrapped/encased as shown per details on this page.

HE-RECO Columns  
 4000 Mainland Dr., Irvine, CA



ARCHITECTURE  
 INTERIOR DESIGN  
 LAND PLANNING

10000 E. UNIVERSITY BLVD  
 SUITE 1000  
 DALLAS, TEXAS 75243  
 TEL: 972.444.7800  
 FAX: 972.444.7800  
 WWW: WWW.HRCARCHITECTURE.COM



DATE: 11/20/10  
 PROJECT NO.: 1000000000  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DESIGNED BY: [Name]

Partition types & details

A005

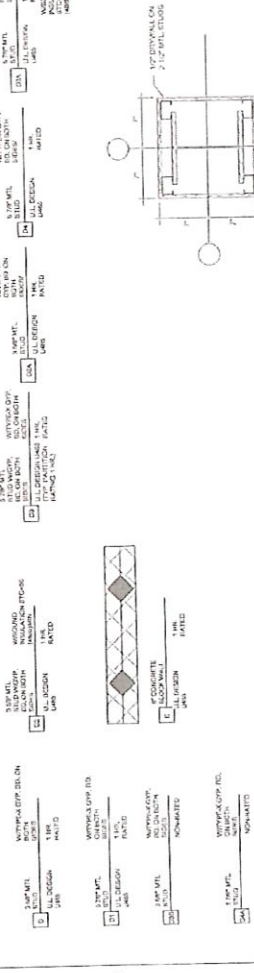
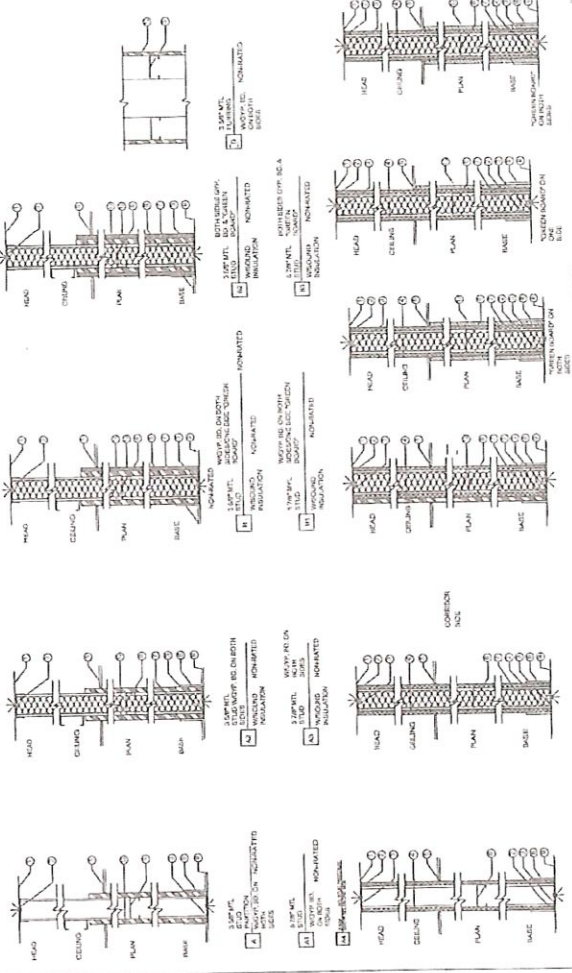


**MATERIAL LEGEND**

NO.	DESCRIPTION
1	1/2" GYPSUM BOARD
2	1/2" GYPSUM BOARD
3	1/2" GYPSUM BOARD
4	1/2" GYPSUM BOARD
5	1/2" GYPSUM BOARD
6	1/2" GYPSUM BOARD
7	1/2" GYPSUM BOARD
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99	1/2" GYPSUM BOARD
100	1/2" GYPSUM BOARD

**Non-Load Bearing Studs  
 MAXIMUM ALLOWABLE  
 WALL HEIGHTS  
 5 psf live load**

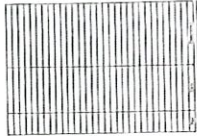
MEMBER	STUD SPACING
1" x 3" (BASE)	16" O.C. 16" O.C. 16" O.C.
1" x 3" (TOP)	16" O.C. 16" O.C. 16" O.C.
2" x 4" (BASE)	16" O.C. 16" O.C. 16" O.C.
2" x 4" (TOP)	16" O.C. 16" O.C. 16" O.C.
3" x 5" (BASE)	16" O.C. 16" O.C. 16" O.C.
3" x 5" (TOP)	16" O.C. 16" O.C. 16" O.C.
4" x 6" (BASE)	16" O.C. 16" O.C. 16" O.C.
4" x 6" (TOP)	16" O.C. 16" O.C. 16" O.C.
5" x 8" (BASE)	16" O.C. 16" O.C. 16" O.C.
5" x 8" (TOP)	16" O.C. 16" O.C. 16" O.C.
6" x 10" (BASE)	16" O.C. 16" O.C. 16" O.C.
6" x 10" (TOP)	16" O.C. 16" O.C. 16" O.C.
8" x 12" (BASE)	16" O.C. 16" O.C. 16" O.C.
8" x 12" (TOP)	16" O.C. 16" O.C. 16" O.C.



released for construction

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HILLBIDE C-207P  
 HILLBIDE C-207P  
 6023 HILLBIDE DR., LEXINGTON, KY 40502



ARCHITECTURE  
 INTERIOR DESIGN  
 LAND PLANNING

1111111111  
 1111111111  
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 1111111111



PROJECT NO:  
 DRAWN BY:  
 CHECKED BY:  
 DATE:

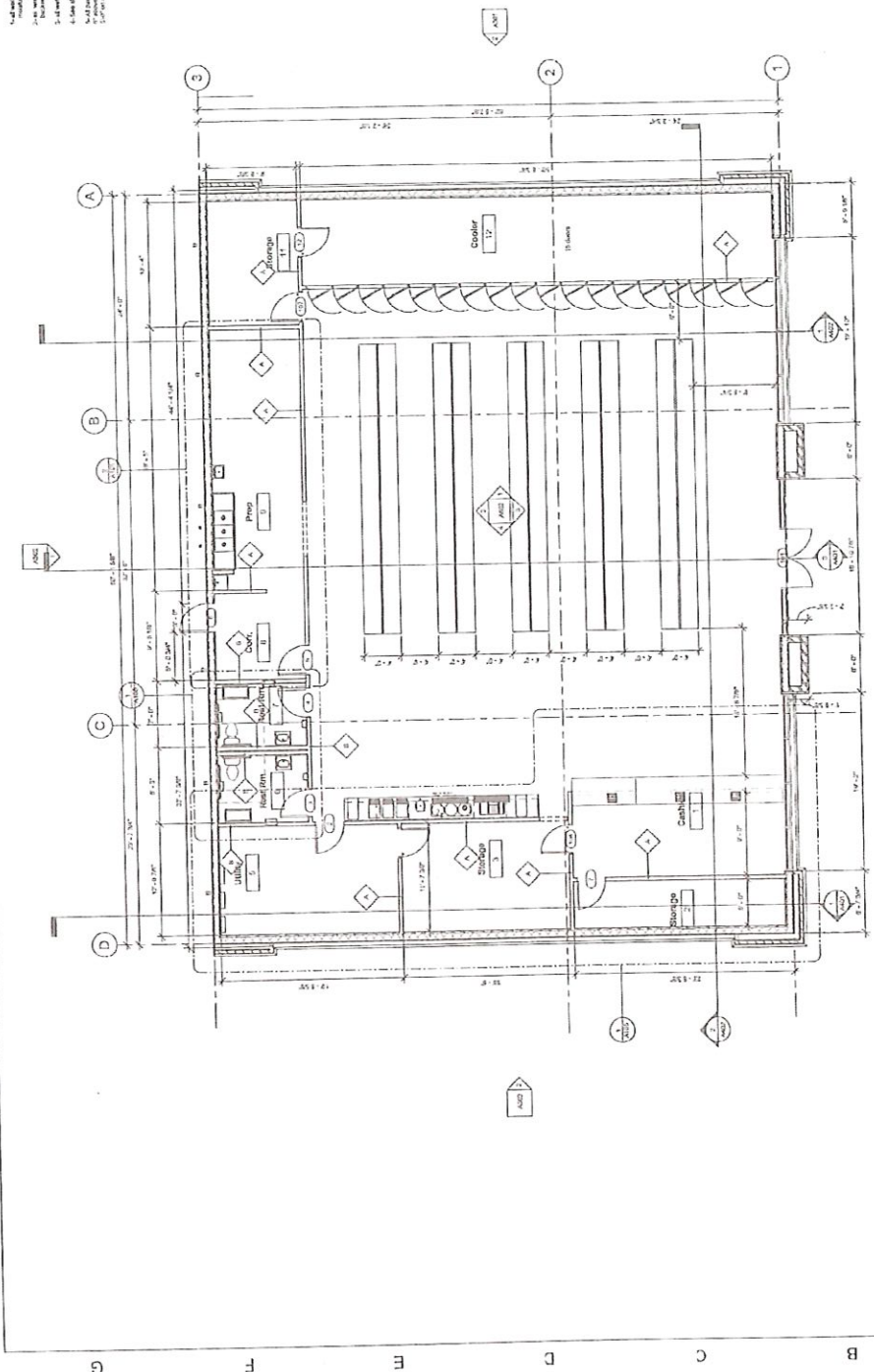
Proposed floor plan

A100

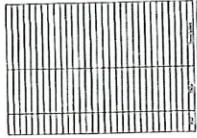
1. All walls shown are 12" thick unless otherwise noted.
2. All doors are 36" wide unless otherwise noted.
3. All wall and ceiling heights are 8'0" unless otherwise noted.
4. See sheet A101 for partition schedule.
5. All partitions, doors, etc., are shown in their closed position unless otherwise noted.
6. All dimensions are in feet and inches unless otherwise noted.

released for construction

1 2 3 4 5 6 7 8 9 0



1/8" = 1'-0"



Hiltsada Colón  
 Hiltsada Colón  
 6000 Hillside Drive, Livonia  
 MI 48150



ARCHITECTURE  
 INTERIOR DESIGN  
 LAND PLANNING

1234 Oak Street, #101  
 Detroit, MI 48226  
 TEL: (313) 555-1234  
 FAX: (313) 555-5678  
 WWW: WWW.HILTSADACOLON.COM

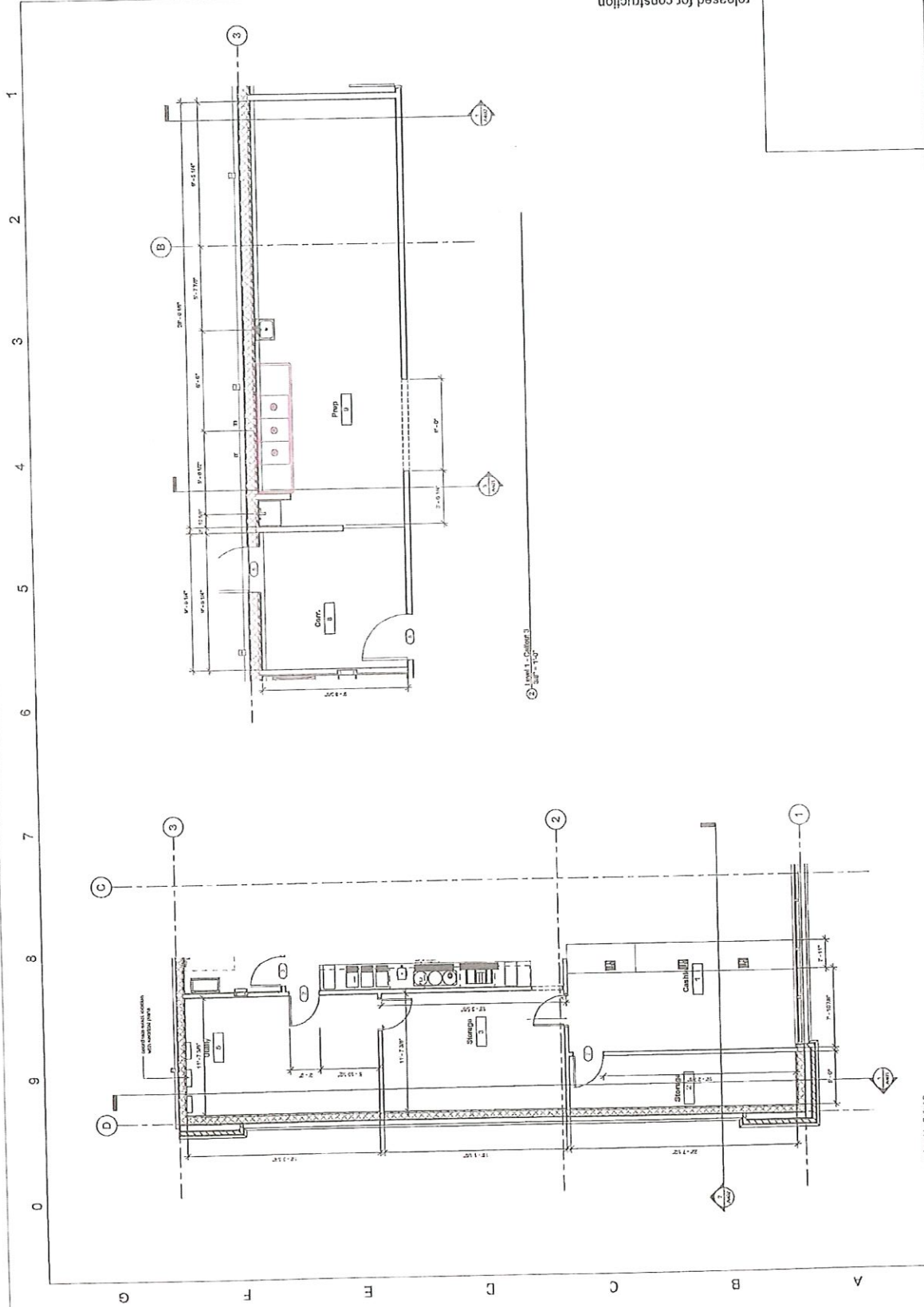


PROJECT DATA

DATE: 11/10/2010  
 PROJECT NO.: 1000000  
 DRAWING NO.: 1000000  
 SHEET NO.: 1000000  
 SHEET TITLE: Enlarged Plans

A105

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1/4" = 1'-0"

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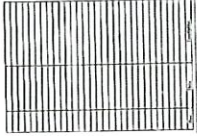












Nizkorada C-Oboro  
Nizkorada C-Oboro  
c/o P. Nizkorada C-Oboro, Lithuania



ARCHITECTURE  
INTERIOR DESIGN  
LAND PLANNING

Street: Oboro Street #1  
Daukotas Street 100, 01100  
Tel: +370 646 3333  
Fax: +370 646 3333  
Website: www.nizkorada.com



Project Name

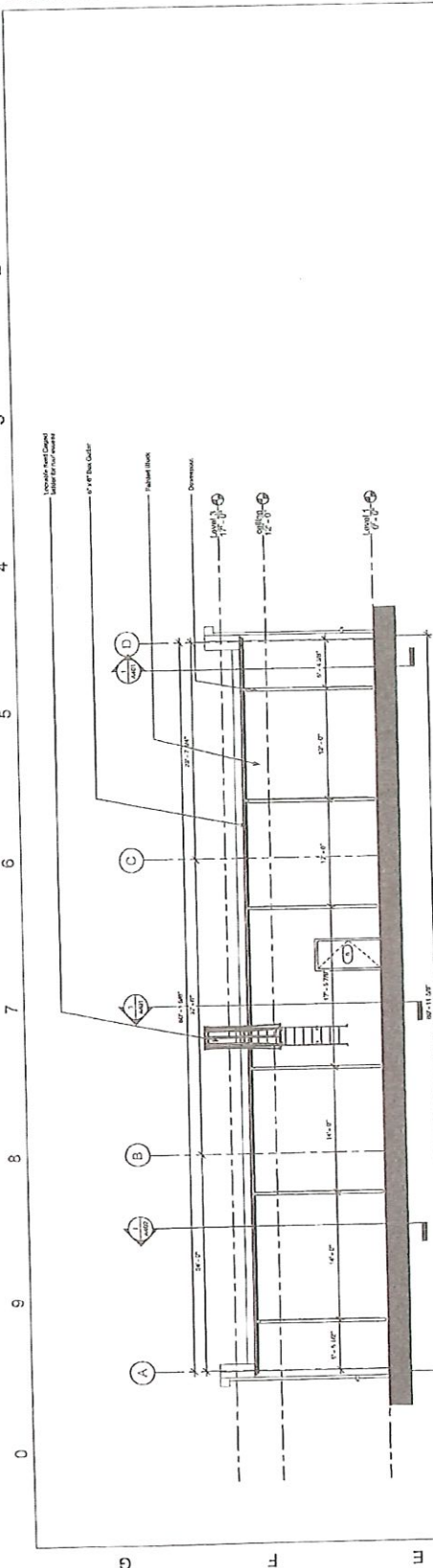
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PROJECT NO: P-000000  
PROJECT NAME: Oboro  
DRAWN BY: Oboro

Elevations

A302

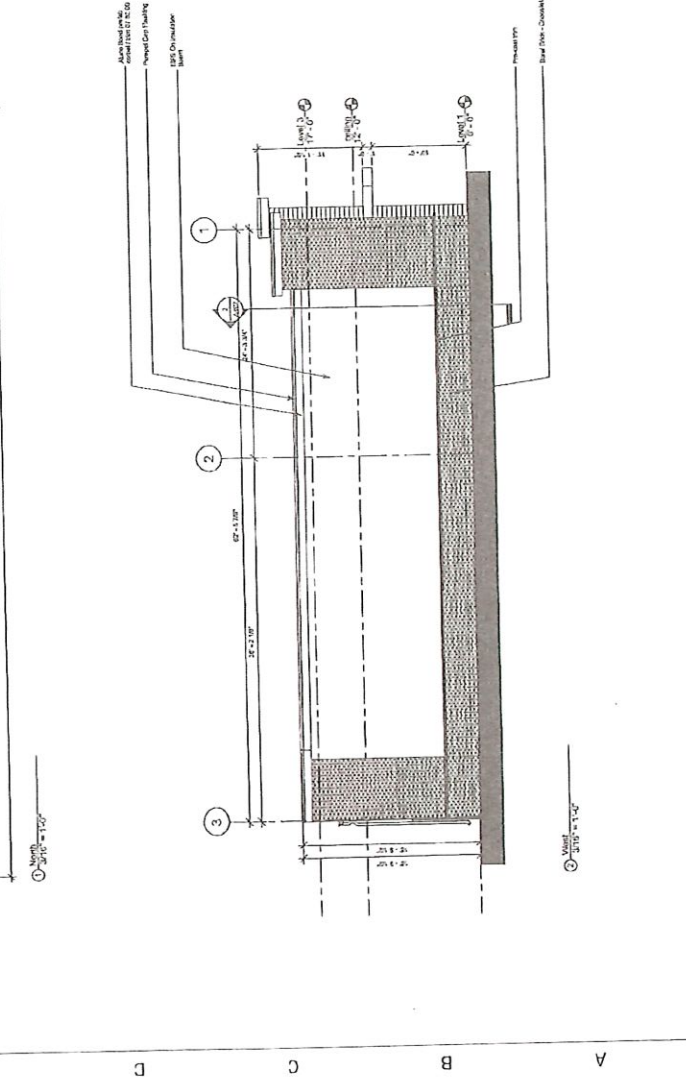
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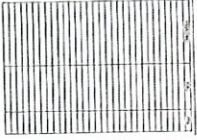
0 1 2 3 4 5 6 7 8 9



Quantity	Unit	Material
10000	m <sup>2</sup>	1/2" x 1/2" x 1/2" brick
10000	m <sup>2</sup>	1/2" x 1/2" x 1/2" brick
10000	m <sup>2</sup>	1/2" x 1/2" x 1/2" brick
10000	m <sup>2</sup>	1/2" x 1/2" x 1/2" brick

Notes:  
1) All brick to have minimum thickness of 1/2"  
2) Minimum bearing for brick shall be 250mm for a 1/2" air gap.





KIRANJALI COLONY  
Hiranandani C-3/3e  
6000 Hiranandani Drive, Lyons, CA



ARCHITECTURE  
INTERIOR DESIGN  
LAND PLANNING

3750 COLONYWAY #12  
DUBLIN, CALIFORNIA 94568  
TEL: 424-843-2300  
FAX: 424-843-2301  
WWW: www.centralmechanicalbureau.com



Project Name:

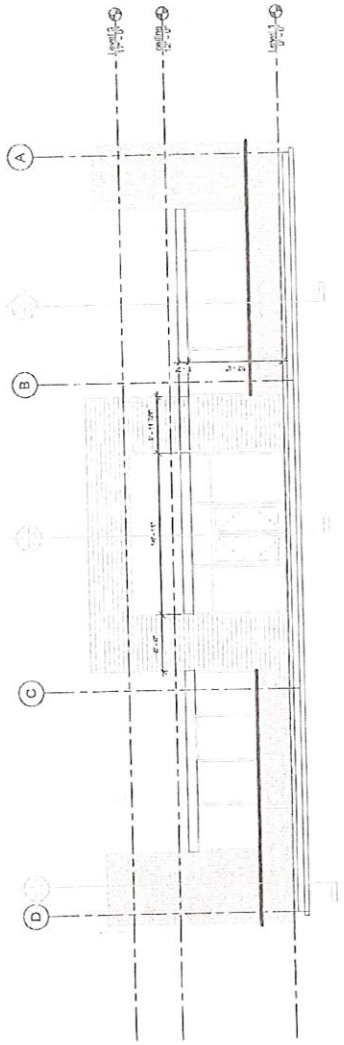
DATE: 11/19/2012  
PROJECT NO: 1101010101  
DRAWN BY: Kiranjali Colby  
CHECKED BY: Dina

Canopy & Misc. Elevations

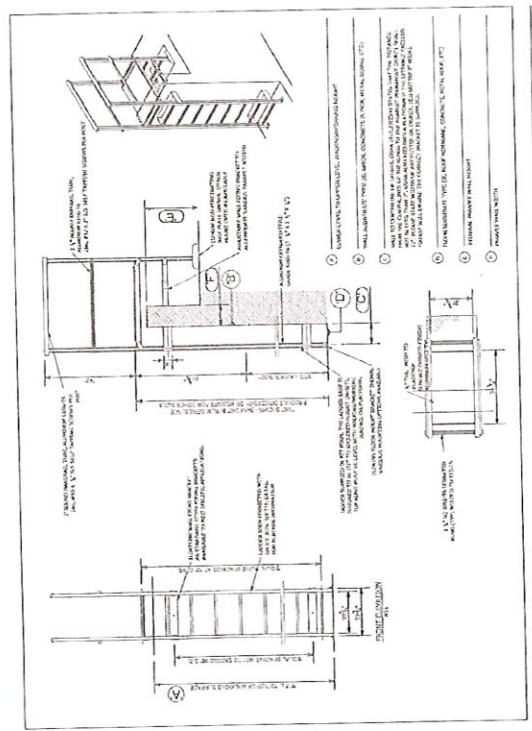
A303

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1 2 3 4 5 6 7 8 9 0



Canopy Elevation  
1/16" = 1'-0"



1/16" = 1'-0"



NO.	REV.	DATE	DESCRIPTION

HILARIO C. OCHOA  
 HILARIO C. OCHOA  
 8030 HILARIO DRIVE, LITTLE  
 CA



ARCHITECTURE  
 INTERIOR DESIGN  
 LAND PLANNING

2800 15th Avenue NW  
 Suite 300  
 Seattle, WA 98103  
 TEL: 206.625.2000  
 FAX: 206.625.2001  
 WWW: www.chparchitect.com

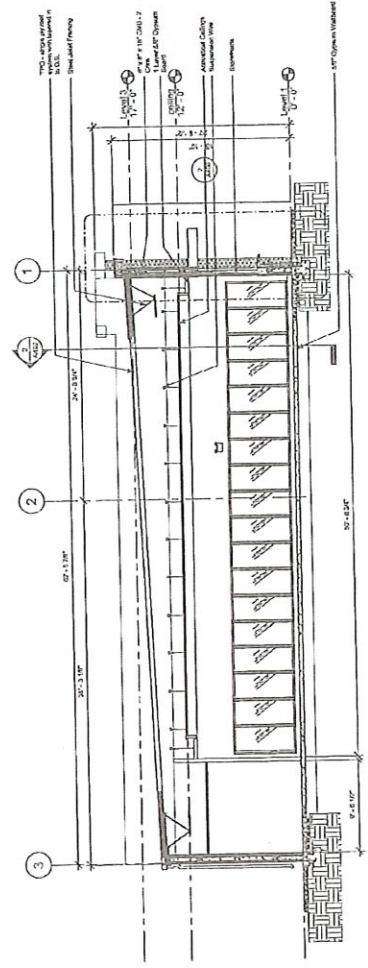


PROJECT NO.:  
 DATE:  
 PROJECT NAME:  
 DRAWN BY:  
 CHECKED BY:  
 Building Sections

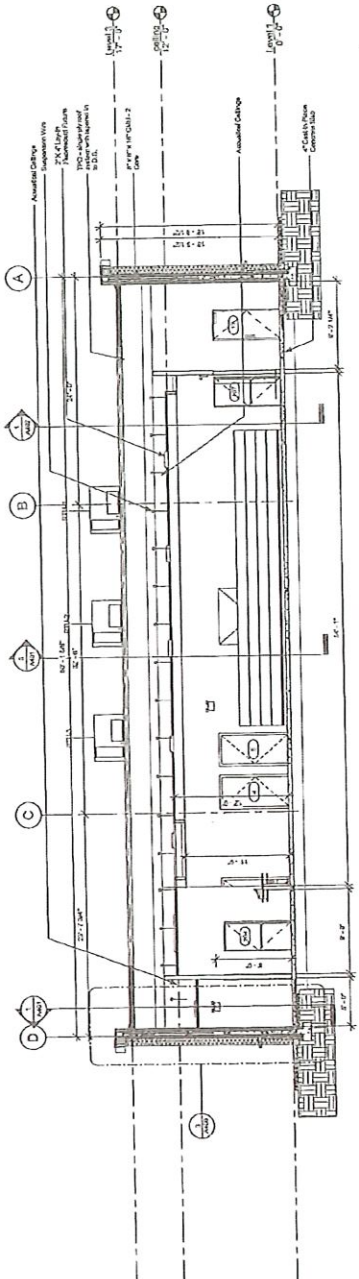
A402

released for construction

1 2 3 4 5 6 7 8 9 0



① SECTION 4  
 1/4" = 1'-0"



② SECTION 5  
 1/4" = 1'-0"

G F E D C B A



Hisselco Colbre  
 10400A C-20m  
 6020 Hamilton Drive, Littleton  
 CO



ARCHITECTURE  
 INTERIOR DESIGN  
 LAND PLANNING

3105 DALLAS ST  
 DULUTH, GEORGIA, 30096  
 TEL: 404.253.2222  
 FAX: 404.253.2222  
 WWW: WWW.CMBCONSTRUCTION.COM



DATE: 11/20/2011  
 PROJECT NO: 111000000  
 DRAWN BY: JLM  
 CHECKED BY: JLM

Wall Sections

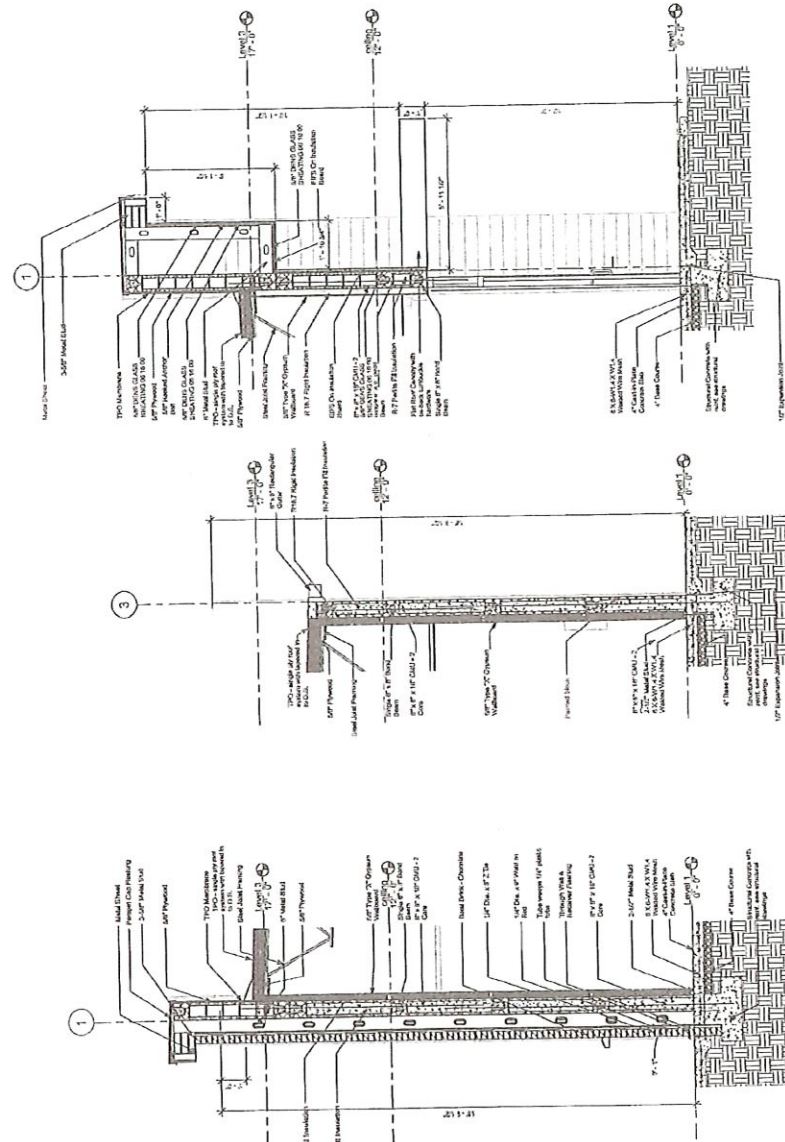
A405

released for construction

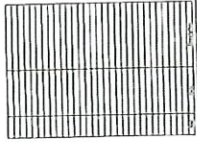
General Wall Section notes:

- 1) extra buldge shall be wrapped with a commercial wrap building wrap.
- 2) Saw masonry sheld for flashing details at foundation, aluminum window sills and lintels.
- 3) flashing and window sill shall be attached to the wall with 17 degree metal flashing for back sill with 17 degree metal flashing.
- 4) Saw masonry sheld for wrap type and spacing.
- 5) See structural drawings for all turndown and footing details.
- 6) All metal nails shall be 1/4" dia minimum with an inch as 2" dia. minimum for all other metal fasteners. All metal fasteners shall be installed as per engineer licensed in the state of CA.
- 7) Apply sealant at all joints where indicated.
- 8) All masonry shall be constructed with a minimum of 3/4" thick mortar.
- 9) When holes penetration shall no surpass 24" on center.
- 10) Critique staining in the first masonry course above finished ground level and along siphons.
- 11) All CMU shall have running bonding.

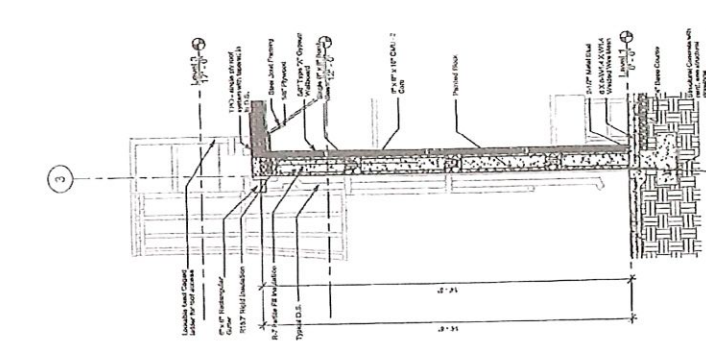
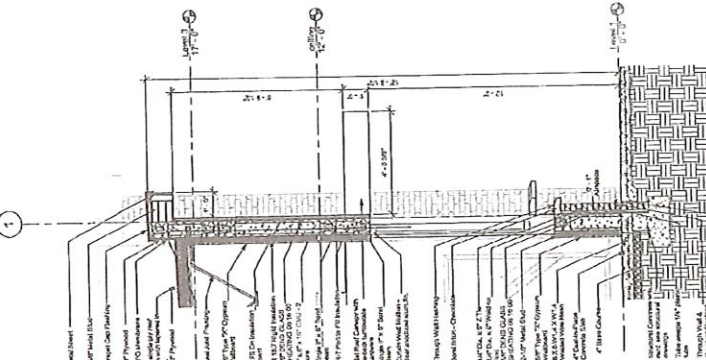
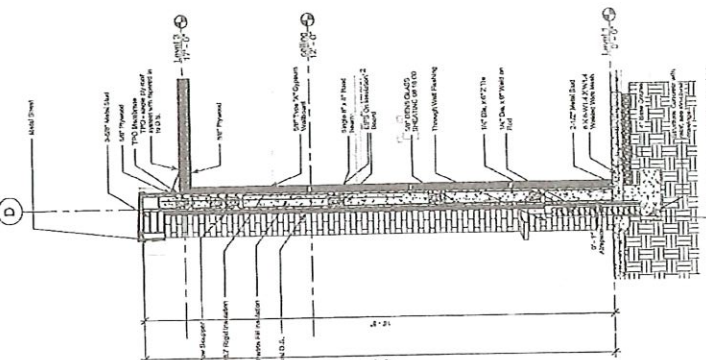
1 2 3 4 5 6 7 8 9 0



Section 1 - Column 1  
 1/4\"/>



- General Wall Section notes:**
- 1) entire building shall be wrapped with a commercial wrap, building wrap.
  - 2) Saw masonry shank for flashing detail.
  - 3) Flashing is to be installed as shown with alternate flashing for brick 3/4" min. 7' above grade with same flashing detail.
  - 4) Saw masonry shank for wrap type and spacing.
  - 5) See structural drawings for all tympans and footing details.
  - 6) All metal studs shall be 16 gauge minimum with an anchor bolt in concrete and secured with metal stud engineer licensed in the state of CA.
  - 7) Apply caulk at all joints where differential movement may occur. All caulking shall be applied with the manufacturer's instructions and shall be flashing sub.
  - 8) Wrap holes separation shall no surpass 24" on center.
  - 9) Chimses flashing in the the masonry course above finish ground level and dog supports.
  - 10) All CMU shall have existing bonding.



ARCHITECTURE  
INTERIOR DESIGN  
LAND PLANNING

1700 G Street NW  
Suite 100  
Baltimore, MD 21201  
Tel: 410.528.2222  
Fax: 410.528.2244  
www.ahp.com



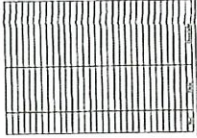
DATE: 11/02/2010  
PROJECT NO.: 1000000000  
DRAWING NO.: 1000000000  
SCALE: 1/4\"/>

Wall Sections  
A406

released for construction







Hirshfeld Colère  
Hirshfeld Colère  
6020 Hirshfeld Drive, Irvine  
CA



ARCHITECTURE  
INTERIOR DESIGN  
LAND PLANNING

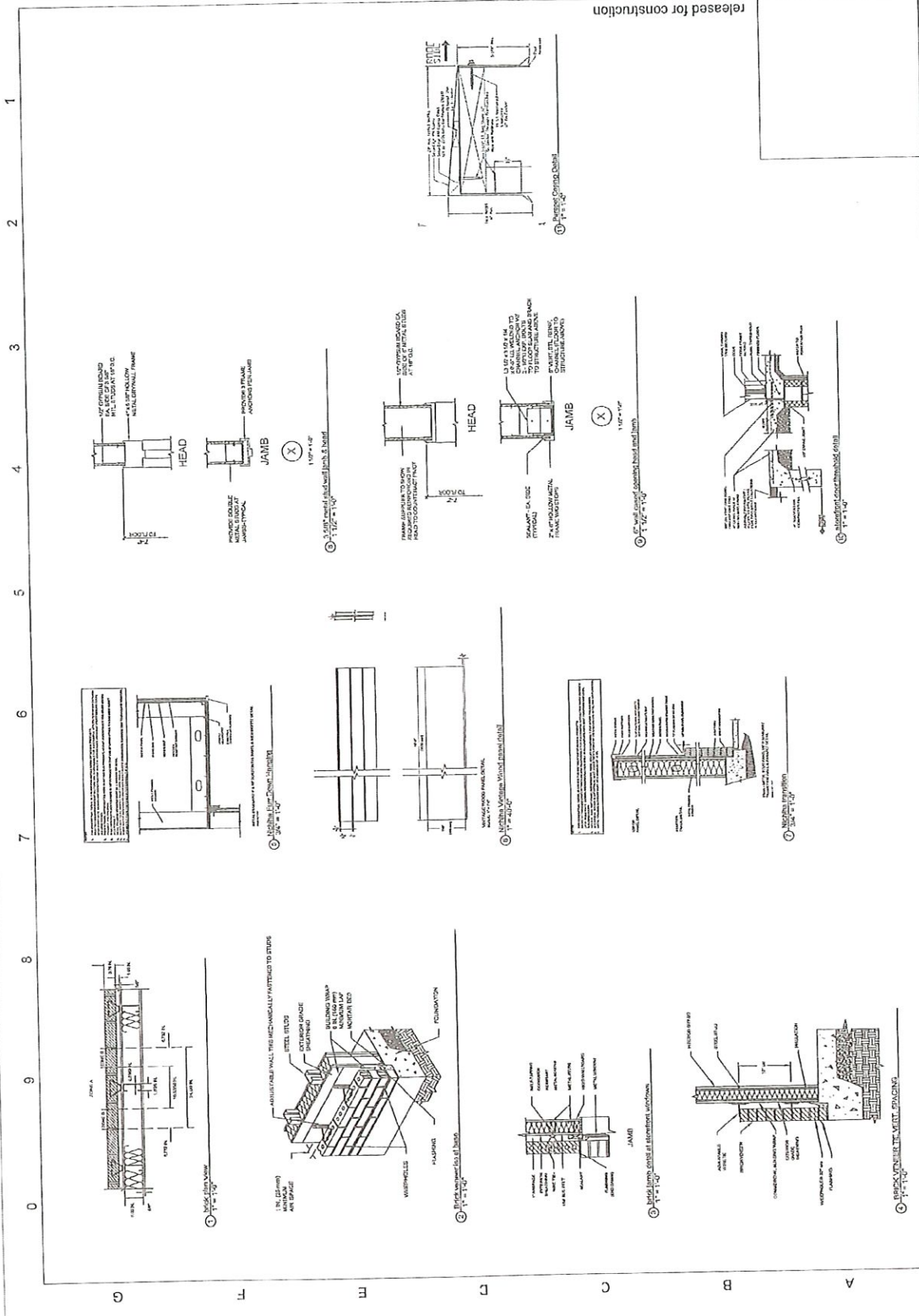
2700 OLIVERA ST  
DUBLIN, CALIFORNIA 94568  
TEL: 415-835-3000  
FAX: 415-835-3000  
WWW.HIRSHFELDCOLERE.COM



PROJECT NUMBER  
DATE: 11/19/2012  
PROJECT NO.: 1111111111  
DRAWN BY: J. J. J. J. J.  
CHECKED BY: J. J. J. J. J.

Misc. Details

A420



released for construction

# Hillandale Self Storage

6257 Hillandale Dr; Lithonia, GA

**STORAGE STRUCTURES**  
 3807 Hwy 61  
 Villa Rica, Ga 30180  
 PHONE: 770-565-1485  
 TEL/FAX: 770-565-1402  
 FAX: 770-565-1462  
 www.storagestructuresinc.com

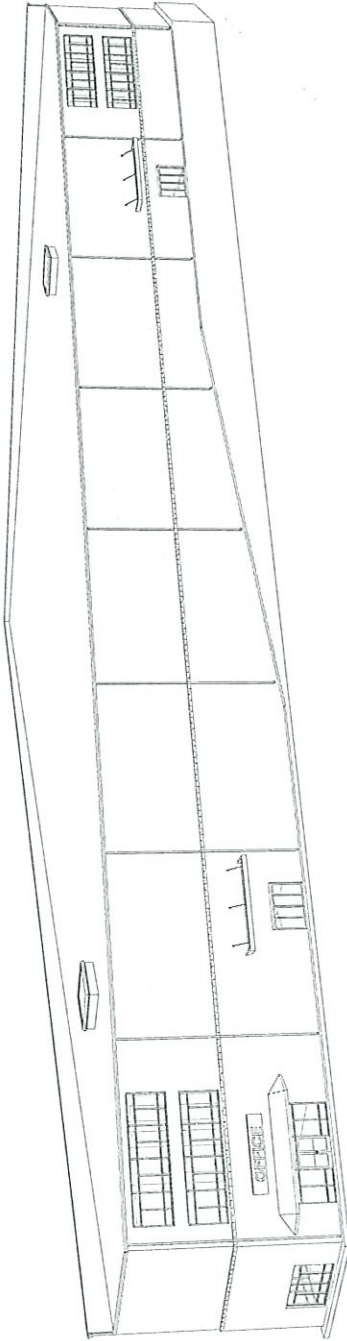
Rev.	Revision	Revision Description
1	3/10/12	

**Andrew Whitehead**  
 Hillandale Self Storage  
 6257 Hillandale Dr  
 Lithonia, GA

**PRELIMINARY  
 ISSUE SET**

SSJ Project Number: 000  
 Sheet Date: 10/18/12  
 Drawn by: All  
 Checked by: All  
 Environment: 12

**\$100**  
 Coversheet



② Site Plan  
 1" = 50'-0"

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Count	Unit Name	Area	Perimeter
35	5X5	875	42'
118	5X10	5900	145'
378	10X10	37800	473'
4	10X12.5	500	82'
201	10X15	30150	315'
4	10X17.5	700	82'
108	10X20	21600	125'
14	10X22.5	2475	12'
873	10X25	35500	25'
		<b>103700</b>	<b>1005'</b>

Name	Area	Perimeter
1st Floor	34975 SF	850' - 4 7/8"
2nd Floor	34975 SF	850' - 4 7/8"
3rd Floor	34975 SF	850' - 4 7/8"
Basement	34975 SF	850' - 4 7/8"
Grand Total: 4	139725 SF	3401' - 4 1/2"

Sheet Number	Sheet Name	Current Revision	Current Revision Date
0100	Coversheet		
0101	Unit Mix - Basement		
0102	Unit Mix - 1st Floor		
0103	Unit Mix - 2nd Floor		
0104	Unit Mix - 3rd Floor		
0105	Elevations		
0106	Elevations		







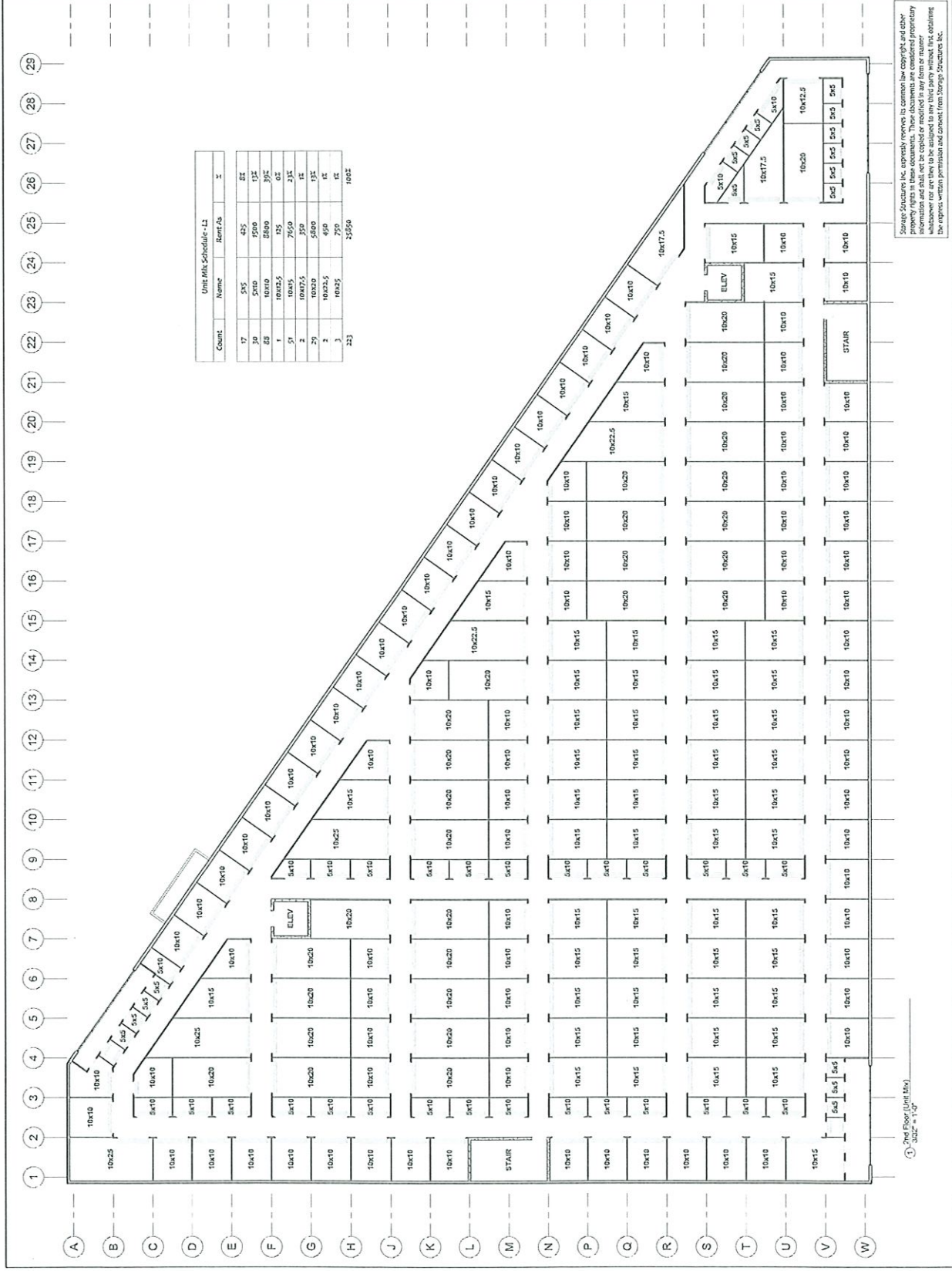
Rev.	Revision	Revision Description
1	01/10	
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
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29		

**Andrew Whitehead**  
 Hilldale Self Storage  
 6257 Hilldale Dr  
 Lithonia, GA

**PRELIMINARY ISSUE SET**

SSS Project Number: 000  
 Date: 10/10/10  
 Drawn By: [Blank]  
 Checked By: [Blank]  
 Environment: [Blank]

**S103**  
 Unit Mix - 2nd Floor



Count	Unit Mix	Name	Rent/Ab	%
17	5x5	4B5		8%
30	5x10	5B10		13%
60	10x10	10B10		26%
1	10x12.5	12.5B		0%
51	10x15	15B		23%
2	10x17.5	17.5B		1%
29	10x20	20B		13%
3	10x22.5	22.5B		1%
3	10x25	25B		1%
233			25850	100%

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① 2nd Floor (Unit Mix)  
 1/32" = 1'-0"





3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-464-1463  
TOLL FREE: 877-464-1463  
FAX: 770-464-1462

www.storagestructures.com

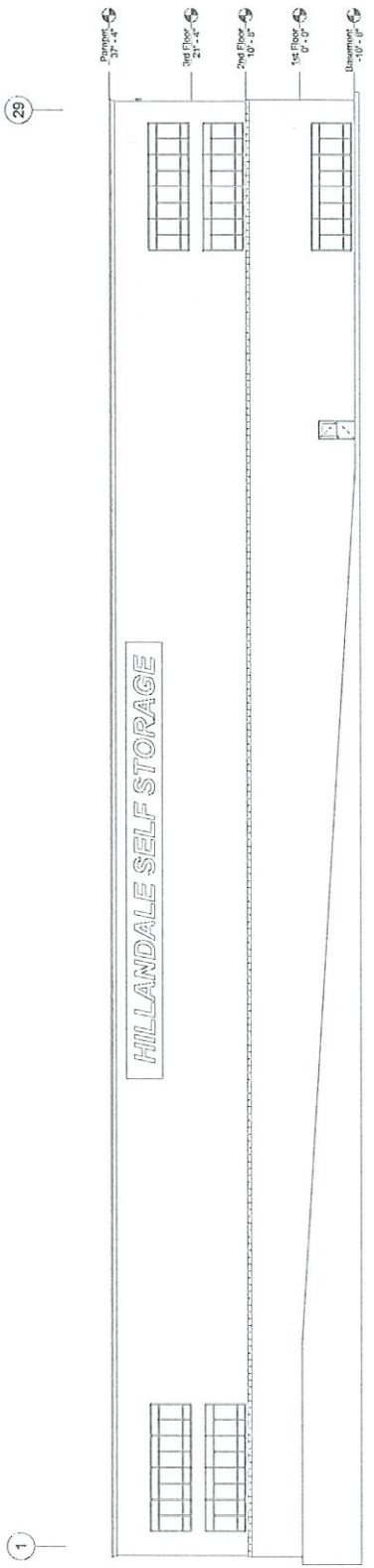
Rev.	Revision	Revision Description
1	1/11	

**Andrew Whitehead**  
**Hillandale Self Storage**  
6257 Hillandale Dr  
Lithonia, GA

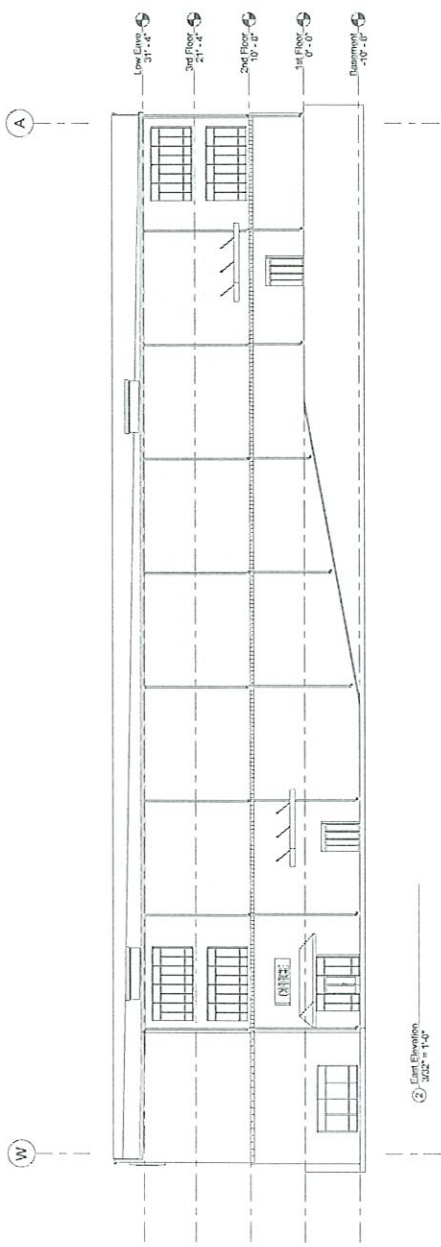
**PRELIMINARY  
ISSUE SET**

SS Project Number: 000  
Issue Date: 10/16/22  
Drawn By: AN  
Checked By: JN  
Environment: U

**S105  
Elevations**



1 South Elevation  
1/32" = 1'-0"



2 East Elevation  
1/32" = 1'-0"

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**STORAGE STRUCTURES**  
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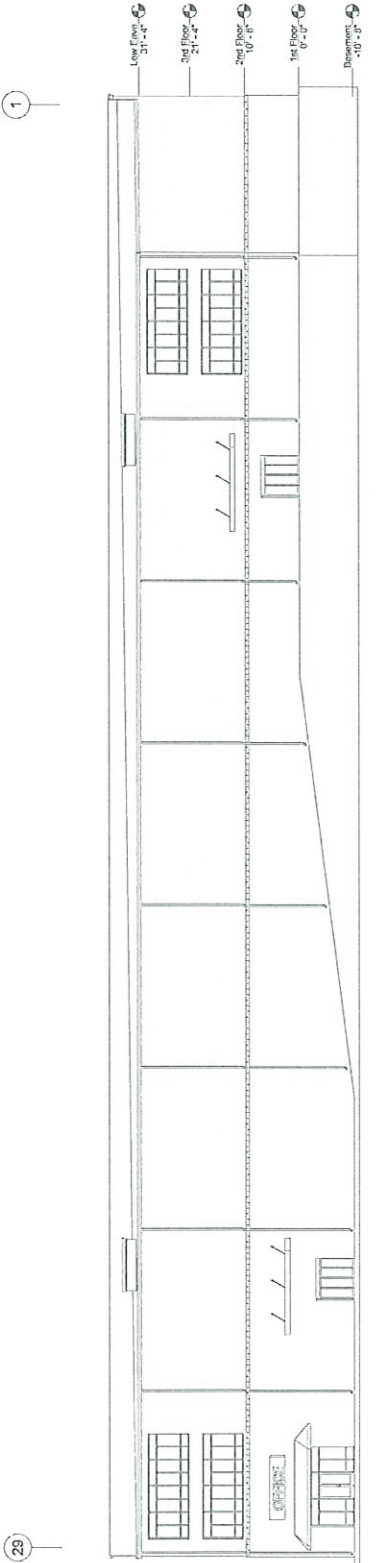
Rev#	Revision Date	Revision Description

**Andrew Whitehead**  
**Hilldale Self Storage**  
 6257 Hilldale Dr  
 Lithonia, GA

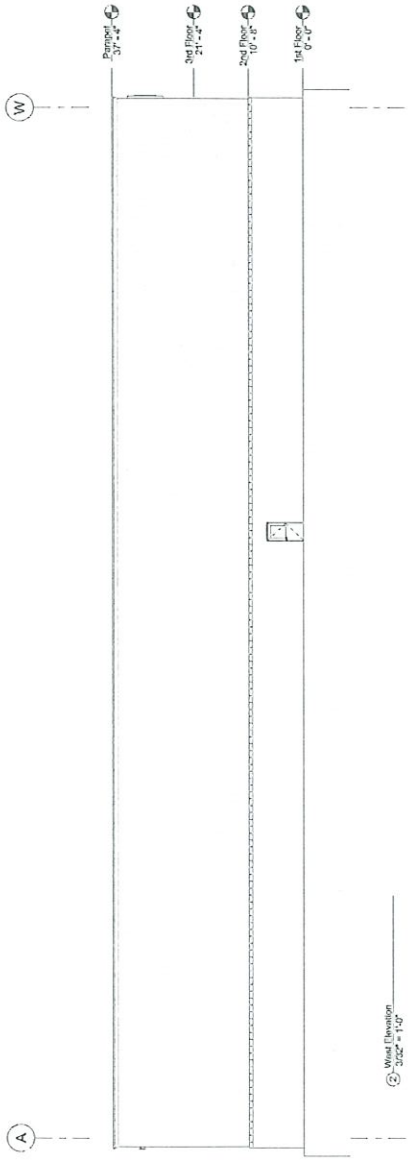
**PRELIMINARY ISSUE SET**

SSJ Project Number: 000  
 Issue Date: 10-10-22  
 Drawn By: AK  
 Checked By: HW  
 Date Plotted: 10/10/22

**S106 Elevations**



① Norm Elevation  
 1/32" = 1'-0"



② Wind Elevation  
 1/32" = 1'-0"

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1st Floor  
2nd Floor  
3rd Floor  
4th Floor  
5th Floor  
6th Floor  
7th Floor  
8th Floor  
9th Floor  
10th Floor  
11th Floor  
12th Floor  
13th Floor  
14th Floor  
15th Floor  
16th Floor  
17th Floor  
18th Floor  
19th Floor  
20th Floor  
21st Floor  
22nd Floor  
23rd Floor  
24th Floor  
25th Floor  
26th Floor  
27th Floor  
28th Floor  
29th Floor  
30th Floor  
31st Floor  
32nd Floor  
33rd Floor  
34th Floor  
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43rd Floor  
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83rd Floor  
84th Floor  
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87th Floor  
88th Floor  
89th Floor  
90th Floor  
91st Floor  
92nd Floor  
93rd Floor  
94th Floor  
95th Floor  
96th Floor  
97th Floor  
98th Floor  
99th Floor  
100th Floor

6257 Hillandale Dr  
More info  
Add to project







8789 - Hillside Park



Round Star  
6257 Hillside Park

East 21st

3014 Bridge St



20

